

MEMORANDUM

TO: Programs, Projects, and Operations Subcommittee
FROM: Eric Williams, Natural Resources Planner
SUBJECT: FY 2022 Urban Cost Share Programs

- Urban Conservation Assistance Program
- Urban Drainageway Program
- Recreation Area Development Program
- Trails Assistance Program

DATE: April 2, 2021

The District solicited applications for the urban cost share programs from the various units of government in the District for the upcoming fiscal year. The following applications were received.

Urban Conservation Assistance Program

The Urban Conservation Assistance Program (UCAP) cost shares with units of government to solve relatively minor erosion, flooding, and stormwater management problems within their jurisdiction. The Policy Manual allows for Management approval of all applications.

Ralston, Wildewood Trail Erosion Repair

Damage to the abutment under the trail bridge just east of 84th Street had occurred. Grading and repairs to the trail surface will divert the water away in order to avoid future damage.

SID 261 Bellbrook, Channel Stabilization

Degradation of the channel along Beadle Creek has exposed a sanitary pipe. A concrete grade control structure will be constructed, and the channel will be restored over the sewer, along with grading and repair to the banks of the creek.

SID 503 West Dodge Station

Erosion along a small tributary to the West Papillion Creek has occurred. Grade control will be installed with a sheet pile weir, along with bank stabilization and channel restoration.

South Sioux City, Drainageway from 18th to 29th Street

Vegetation and sediment has accumulated in the drainageway on the west side of the city. This project will clear the channel to restore drainage. Additional historic investigation is being done to determine if a previously Operations & Maintenance Agreement is in place for this location, and whether this specific location is eligible for funding. If a past agreement excludes additional District participation, this project will be removed from the budget. This application was moved from the Urban Drainageway Program based on the description.

The FY 2021 budget did not include and new for projects in this program. The following table summarizes the FY 2022 applications.

| <u>Sponsor, Project</u> | <u>Total Estimated Cost</u> | <u>FY 2022 Cost Share</u> |
|--|------------------------------------|----------------------------------|
| Ralston, Wildewood Trail Erosion Repair | \$118,530 | \$30,000 |
| SID 261 (Sarpy) Bellbrook, Channel Stabilization | \$189,100 | \$30,000 |
| SID 503 (Douglas) West Dodge Station | \$150,000 | \$30,000 |
| SSC, Drainageway from 18th to 29th Street | \$51,000 | \$30,000 |
| Total | \$508,630 | \$120,000 |

- **It is recommended that the Subcommittee recommend to the Board of Directors that the applications from Ralston, SID 261, SID 503, and South Sioux City for \$30,000 each, for a total of \$120,000 be approved, subject to funding in the FY 2022 Budget.**

Urban Drainageway Program

The Urban Drainageway Program (UDP) cost shares with units of government to rehabilitate major urban drainageways within their jurisdiction. The cost share rate varies depending on the level of rehabilitation. This program was redefined by the Board in 2011. Board approval is required on all applications. New program applications were received and are outlined below.

Papillion, 84th and Valley Road

Increased urbanization has caused stream degradation, threatened public infrastructure and private property, and has damaged habitat along this stream. The channel will be restored, improved, and have increased functionality for stormwater as well as habitat.

SID 541 Summer Glen Channel Repair

Erosion and degradation have exposed multiple sanitary sewer crossings and threatened adjacent property. Grade control will be installed from weird structures, and the channel banks will be graded and restored. This project was moved from the UCAP program.

The FY 2021 budget included \$737,801 for projects in this program. The following table summarizes the FY 2022 applications.

| <u>Sponsor, Project</u> | <u>Total Estimated Cost</u> | <u>FY 2022 Cost Share</u> |
|--|------------------------------------|----------------------------------|
| Papillion, 84th and Valley Road Year 1 of 2 (\$540,000 in FY 2022, FY 2023) | \$1,800,000 | \$540,000 |
| SID 541 (Douglas) Summer Glen Channel Repair | \$450,000 | \$180,000 |
| Total | \$2,250,000 | \$720,000 |

- **It is recommended that the Subcommittee recommend to the Board of Directors that the application from the City of Papillion for \$540,000 in FY 2022 and FY 2023, and from SID 541 for \$180,000 be approved, subject to funding in the FY 2022 Budget.**

Recreation Area Development Program

The Recreation Area Development Program (RAD) cost shares with communities to develop and improve recreation areas within their jurisdiction. The cost share rate is 50%. On projects requesting more than \$20,000, the Policy Manual requires Board approval. On all others, Management has approval authority.

Arlington, Dog Park

Working with business owners and citizens, the Village of Arlington is requesting funding to assist with the construction of a dog park. The Village will ultimately be responsible for maintenance of the facility.

Arlington, Pond

A pond will be excavated to the east of the existing ball fields. This project is designed in collaboration with the trail, and near the proposed dog park.

Bellevue B-Cycle

In order to expand recreation access along the West Papio Trail, the city will work with Heartland B-Cycle to install a station at the 36th Street trailhead. This station will build on the success of previous expansion of bike share programs along the trail system.

Blair Boat Ramp

Recent flooding has damaged the docks at Optimist Park. Two new docks will be installed to provide recreation along the Missouri River, as well as access for public agencies including NGPC, USGS, USACE, Fish and Wildlife, and local fire and rescue crews. The request is for \$100,000 in funding, which is greater than the limit specified by the policy for this program.

Gretna, Pollinator Park

As part of the comprehensive recreation facility known as Gretna Crossing Park, funding is requested to help develop 13 acres of natural area and pollinator habitat. This is an early phase, and additional natural resources and recreation features are expected in the future.

Lake Cunningham Development Trust and City of Omaha, Recreation Area Renovation

Through a public-private partnership with the City of Omaha, the Trust is working to construct and improve recreation facilities across the entire Lake Cunningham Recreation Area. This project will renovate and replace facilities on the west side of the lake, including

two shelters and bathrooms. The previous agreement between the Trust and the City of Omaha authorizes operations by the Trust, and the city will continue any needed maintenance if the agreement with the Trust is concluded.

City of Omaha, Brown Park

By collaborating with neighborhood residents, the city is working to upgrade the facilities at this park including the pavilion, picnic shelter, accessible walks, and signage.

City of Omaha, Flanagan Lake Kayak Launch

Expanding on the recreation features at Flanagan Lake, a kayak launch will be added to the north shore near the main parking lot and boat ramp.

Papillion, Monarch Place Park

Upgrades will be made to this existing park, including the removal and replacement of the equipment as well as the surface underneath the playground.

South Sioux City, Jeffrey Dibble Soccer Shelter

A weather shelter structure will be installed at the existing soccer fields.

The FY 2021 budget included \$124,500 for projects in this program. The following table summarizes the FY 2022 applications.

| <u>Sponsor, Project</u> | <u>Total Estimated Cost</u> | <u>FY 2022 Cost Share</u> |
|---|------------------------------------|----------------------------------|
| Arlington, Dog Park | \$53,364 | \$20,000 |
| Arlington, Pond | \$485,000 | \$50,000 |
| Bellevue, B-Cycle | \$53,219 | \$26,600 |
| Blair, Boat Ramp | \$201,250 | \$100,000 |
| Gretna, Pollinator Park | \$586,142 | \$50,000 |
| Lake Cunningham, Recreation Area Renovation | \$92,220 | \$46,110 |
| Omaha, Brown Park | \$425,800 | \$20,000 |
| Omaha, Flanagan Lake Kayak Launch | \$108,881 | \$50,000 |
| Papillion, Monarch Place Park | \$113,000 | \$50,000 |
| South Sioux City, Jeffrey Dibble Soccer Shelter | \$36,403 | \$18,201 |
| Total | \$2,115,279 | \$430,911 |

- **It is recommended that the Subcommittee recommend to the Board of Directors that the applications from Arlington for \$20,000 and \$50,000, Bellevue for \$26,600, Blair for \$100,000, the Gretna for \$50,000, Lake Cunningham Development Trust and City of Omaha for \$46,110, City of Omaha for \$20,000 and \$50,000, City of Papillion for \$50,000, and South Sioux City for \$18,201, for a total of \$430,911, be approved, subject to funding in the FY 2022 Budget.**

Trails Assistance Program

The Trails Assistance Program cost shares with sponsors on trail projects to provide recreation and active transportation opportunities in the District. The cost share rate is 50% of the local share. All projects require Board approval.

Arlington, Walking Trail Extension

In coordination with the new pond, an extension to the existing trail will be constructed to connect several recreation features to the adjacent neighborhoods.

Fort Calhoun, Adams Park Trail

This trail is part of a comprehensive set of recreation features and will connect the splash pad and features of the park to the existing sidewalks and the neighborhood.

La Vista, Applewood Creek Trail

Existing trails along this creek exist south of Giles Road, and north of Brentwood Drive. The proposed trail has federal aid funding and will feature a new culvert underpass at Giles Road, as well as extending and connecting the existing sections of trail along the creek.

Lake Cunningham Development Trust and City of Omaha, Trail Connections

Recent upgrades around the lake allow many features to be connected by the existing trail. This project will connect three remaining gaps to make a continuous loop around the lake.

City of Omaha, Big Papio FEMA Restoration

Repair work to this trail has been in design and review by FEMA since damage in 2019. Upgrades to the trail to avoid future water damage were requested by the NRD, but not approved by FEMA. The cost share request is to assist in upgrading the trail to decrease expected future maintenance and provide a better experience for trail users.

City of Omaha, North Downtown Pedestrian Bridge

This project is an extension of the existing Bob Kerry Pedestrian Bridge, continuing west over the railroad tracks, and connecting to the pedestrian plaza on the east side of 10th Street. District staff have been involved in planning and design meetings since the beginning of this project, and the extension will provide significantly increased recreation and active transportation connectivity to the ongoing development along the Missouri River. Funding for this project is expected to be done over three (3) years.

City of Omaha, Riverfront Trail Phase 4

The system of trails along the Missouri River has a gap along Abbot Drive. In order to provide safe and continuous trail use, this project will connect from Gallup Drive along the west side of the Missouri River, to E. Locust Street at the southeast corner of Carter Lake.

SID 405 Deer Creek, Big Papio Trail

Construction of a trail along the Big Papio Creek was identified during the original development of this neighborhood. The NRD has discussed trails in this location with the City of Omaha Parks Department, and a determination about the best location for the trail along this section is in process. Funding for construction of this trail will be based on discussion and approval from all departments at the City of Omaha and must be in accordance with the regional planning for the Big Papio Trail.

The FY 2021 budget included \$228,109 for projects in this program. The following table summarizes the FY 2022 applications.

| <u>Sponsor, Project</u> | <u>Total Estimated Cost</u> | <u>FY 2022 Cost Share</u> |
|---|------------------------------------|----------------------------------|
| Arlington, Walking Trail Extension | \$185,000 | \$92,500 |
| Fort Calhoun, Adams Park Trail | \$144,200 | \$77,100 |
| La Vista, Applewood Creek Trail | \$2,500,000 | \$250,000 |
| Lake Cunningham, Trail Connections | \$400,000 | \$200,000 |
| Omaha, Big Papio FEMA Restoration | \$524,512 | \$43,588 |
| Omaha, North Downtown Pedestrian Bridge Funding in FY 2022, 2023, and 2024 | \$7,720,000 | \$250,000 |
| Omaha, Riverfront Trail Phase 4 | \$750,468 | \$300,187 |
| SID 405 (Douglas) Deer Creek, Big Papio Trail | \$1,064,000 | \$532,000 |
| Total | \$13,288,180 | \$1,745,375 |

- **It is recommended that the Subcommittee recommend to the Board of Directors that the applications from Arlington for \$92,500, Fort Calhoun for \$77,100, La Vista for \$250,000, Lake Cunningham Development Trust and the City of Omaha for \$200,000, and the City of Omaha for \$43,588, the City of Omaha for \$250,000 in FY 2022, 2023, and 2024, the City of Omaha for \$300,187, and SID 405 for \$532,000, for a total of \$1,745,375 be approved, subject to funding in the FY 2022 Budget.**

Lake Dredging Program

The Lake Dredging Program cost shares with communities to remove accumulated sediments from public recreation lakes. The cost share rate is 50%, up to a maximum of \$100,000. All applications require Board Approval.

No application were received for this program in FY 2022.

Urban Conservation Assistance Program – Application Form

Project name Wildewood Trail Erosion Repair

Project location (attach location map) Wildewood Park, just south of Serum Avenue

Sponsor organization City of Ralston

Sponsor address 5500 S 77th Street

City Ralston State NE ZIP 68127

Contact person Richard Hoppe

Title City Administrator

Email address rhoppe@cityofralston.com Daytime phone 402.610.2720

Description of problem (attach additional sheets as needed)

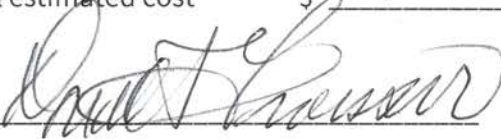
See attached

Proposed solution (attach additional sheets as needed)

See Attached

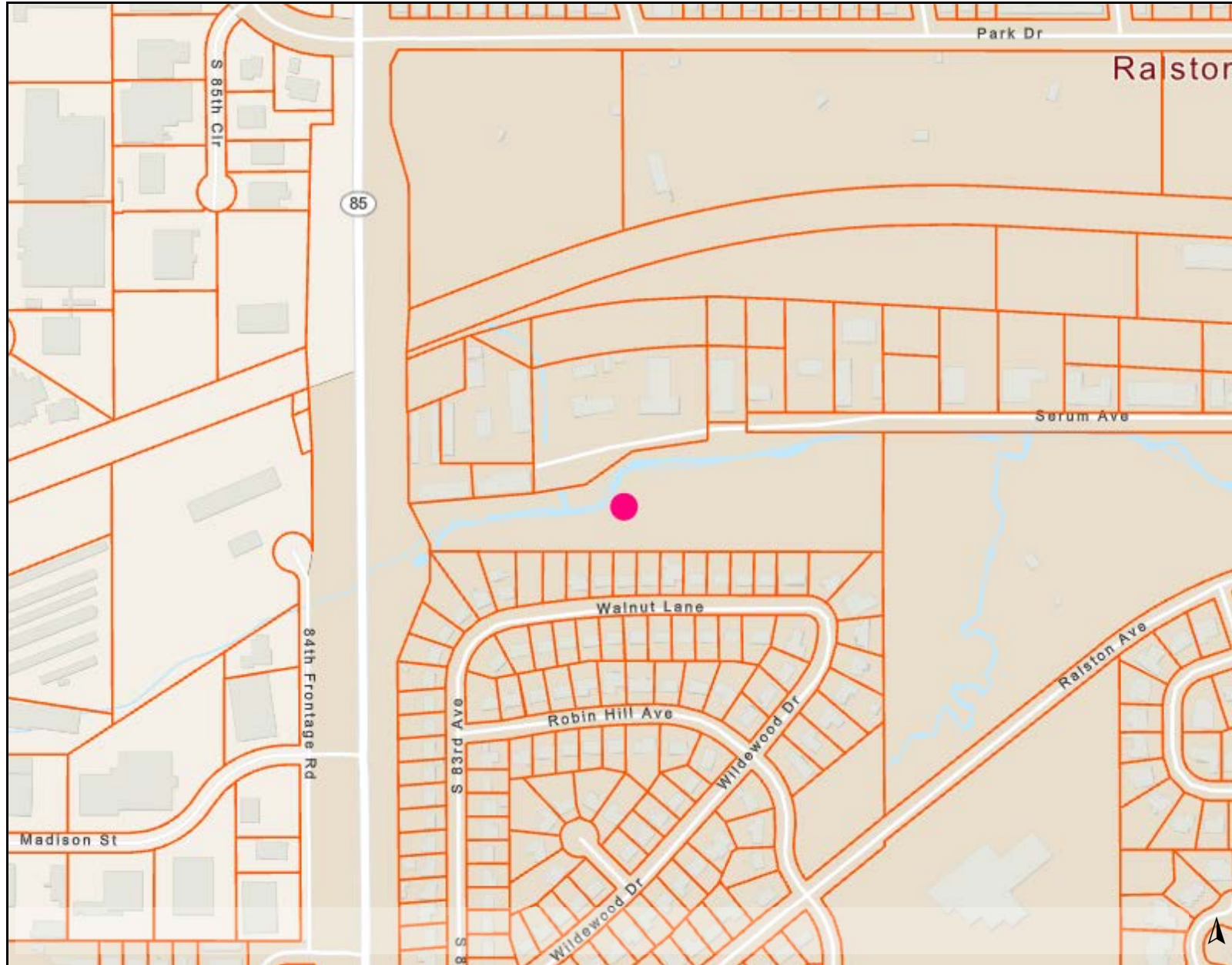
Total estimated cost \$ 118,530

Cost share request \$ 30,000


Signature

March 17, 2021
Date

Mayor
Title



Legend

Parcels

Property Lines



0 500 1000
ft

Please contact Douglas County GIS for map questions (gis@douglascounty-ne.gov)

Printed from dogis.org:
04/02/2021 00:00:00

This map is a user generated static output from an Internet mapping site and is for reference only. Data on this map may or may not be accurate, current, or otherwise reliable. It is for informational purposes only, and may not be suitable for legal, engineering, or surveying purposes. Do NOT use property lines from this website for public submissions.

Description of Problem:

Along the east approach to the bridge in the Wildewood Park trail storm water sheets down the hill and has concentrated along the trail edge eroding the soils around and behind the pedestrian bridge abutment. This is evidenced by the east approach slab settlement of about 4" (last measured in early 2020) and cracking at the top of both wingwalls at the abutment backwall. However, the biggest issue was discovered under the abutment/approach slab. A 5' deep scour hole/erosion channel extended under the abutment cap, and there is a large open void under the approach slab (See photo #). This void was approximately 4' – 9' deep under the approach slab. The void extended to the end of both wingwalls, and a hole is developing to the surface at the end of the north wingwall. It appears all the granular/sand backfill installed with the original construction has washed away. The only remaining soil that is supporting the approach slab is near the center of the approach slab near the ends of the wingwalls. The pedestrian bridge was closed in 2020 due to the erosion under the trail at the bridge.

Proposed Solution:

The trail grading should be modified, so the runoff is redirected to the north towards the creek prior to the approach slab/bridge. This would be accomplished by constructing a more define drainage swale that would capture the storm water and direct it to the creek away from the bridge. As shown on the site map, as the trail approaches the bridge, the swale would curve away to intersect the creek north of the existing bridge. At this connection a drainage flume (either concrete or rock riprap) would be constructed to allow storm water to enter the creek while protecting the bank from erosion.

To repair the trail, the approach slab will need to be removed, the void will need to be backfilled/compacted, and a new approach slab constructed back in place. Soils would also be reinstalled in front of the abutment and riprap added to protect the fill around the bridge from erosion in the future. Last, the cracks at the top of the abutment wingwalls should be sealed with epoxy crack injection while performing the other repairs.

Site Photos



ENGINEER'S BUDGETARY OPINION OF PROBABLE COST

Wildewood Park - Erosion Repair near west bridge

Ralston, NE

JEO Project No. 181714.00

Date Prepared:

March 16, 2021

**ESTIMATE OF QUANTITIES**

| Item # | Description | Unit | Quantity | Unit Price | Total |
|--|--|------|----------|-------------|------------------|
| Wildewood Park - West Bridge - East Approach Repair | | | | | |
| 1. | Mobilization | LS | 1 | \$5,400.00 | \$5,400 |
| 2. | Bonding and Insurance | LS | 1 | \$2,000.00 | \$2,000 |
| 3. | Remove Existing Bridge Approach Slab | LS | 1 | \$1,100.00 | \$1,100 |
| 4. | Remove Concrete Trail | SF | 1,500 | \$2.50 | \$3,750 |
| 5. | General Clearing and Grubbing | LS | 1 | \$1,600.00 | \$1,600 |
| 6. | 6" Concrete Trail | SF | 1,500 | \$7.50 | \$11,250 |
| 7. | Subgrade Preparation | SY | 167 | \$5.00 | \$835 |
| 8. | Excavation, Established Quantity | CY | 250 | \$25.00 | \$6,250 |
| 9. | Construction of a drainage swale | LF | 200 | \$50.00 | \$10,000 |
| 10. | Type B Riprap (at abutment) | TON | 200 | \$75.00 | \$15,000 |
| 11. | New Bridge Approach Slab | SF | 150 | \$10.00 | \$1,500 |
| 12. | Concrete Flume with Rock at ditch outlet | Each | 1 | \$10,000.00 | \$10,000 |
| 13. | Erosion Control/Seeding | LS | 1 | \$5,000.00 | \$5,000 |
| Construction Subtotal Base Bid | | | | | \$73,690 |
| Contingency 20% | | | | | \$14,740 |
| Total Opinion of Construction Cost | | | | | \$88,430 |
| PROFESSIONAL SERVICES | | | | | |
| 1. | Design Services | | | | \$18,600 |
| 2. | Construction Services | | | | \$11,500 |
| Subtotal | | | | | \$30,100 |
| Total Opinion of Project Cost | | | | | \$118,530 |

JEO Consulting Group Inc.'s (JEO) Opinions of Probable Cost provided for herein are to be made on the basis of JEO's experience and qualifications and represent JEO's best judgment. However, since JEO has no control over the cost of labor, materials, equipment, or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, JEO cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from Opinions of Probable Cost prepared by JEO.

Prepared 3/16/2021

Urban Conservation Assistance Program – Application Form



Project name Bellbrook - Beadle Creek Channel Stabilization

Project location (attach location map) Gertrude Street and Harrison Street

Sponsor organization SID 261, Bellbrook

Sponsor address 11440 West Center Road

City Omaha State NE ZIP 68144

Contact person Robert F. Czerwinski Jr.

Title Municipal Services Dept. Manager

Email address bczerwinski@eacg.com Daytime phone 402.510.1329

Description of problem (attach additional sheets as needed)

See attached sheet

Proposed solution (attach additional sheets as needed)

See attached sheet

Total estimated cost \$ 189,100.00 Cost share request \$ 30,000.00

Robert F. Czerwinski Jr.
Signature

2-26-2021
Date

Municipal Services Dept. Manager
Title

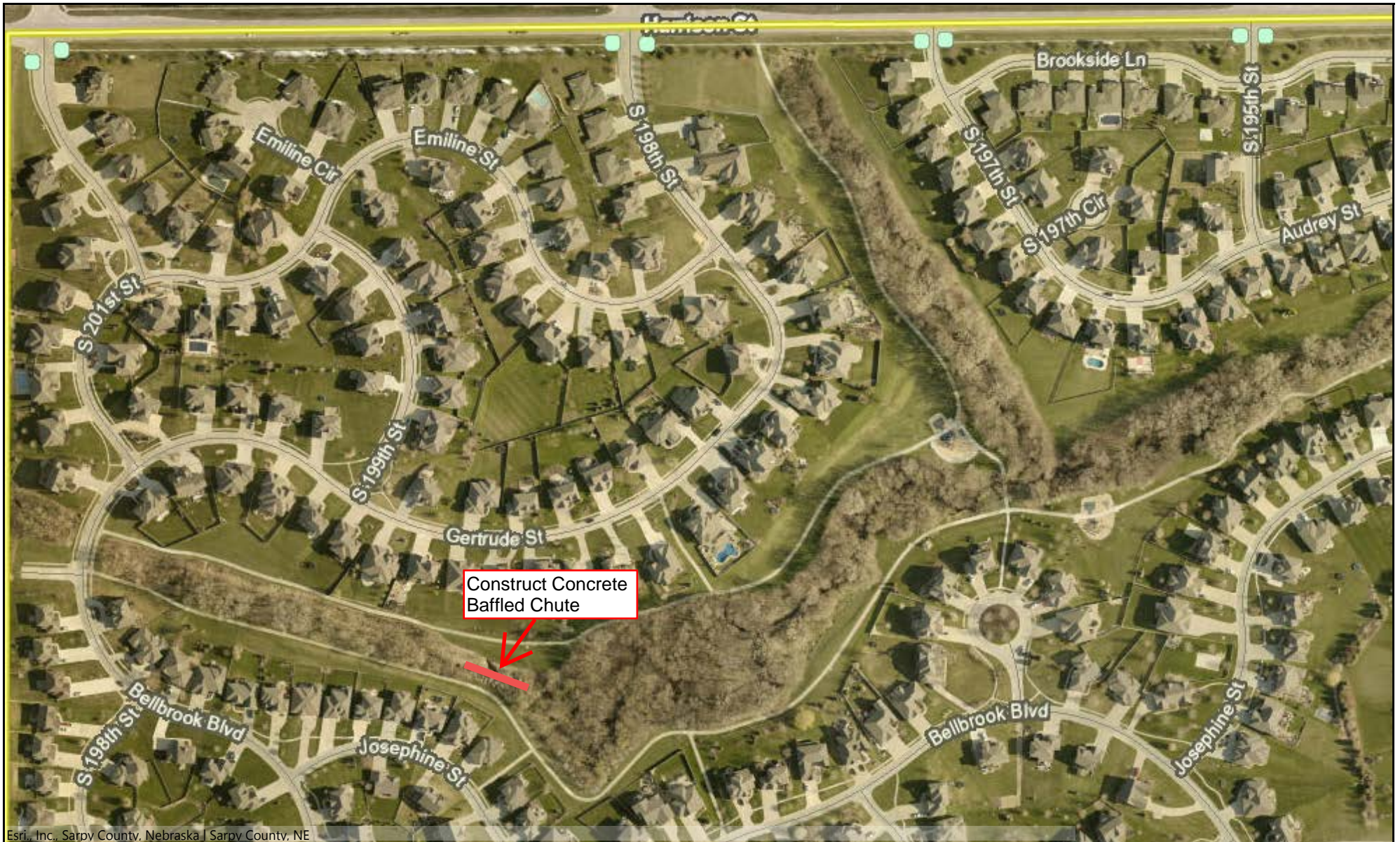
URBAN CONSERVATION ASSISTANCE PROGRAM – APPLICATION FORM

Description of problem –

A segment of Beadle Creek, which is a tributary of West Papillion Creek, bordering Bellbrook (SID 261) has experienced significant bank sloughing and erosion on the north bank which has exposed a sanitary sewer pipe. Further bank erosion is anticipated, jeopardizing the adjacent property owners and exposing more of the sanitary sewer pipe.

Proposed solution –

The proposed solution is to stabilize the eroding creek by installing grade control, channel restoration, and bank stabilization. Grade control would include the installation of a cast-in-place reinforced concrete baffled chute. The placement of flexamat and rip rap will help along the north and south bank will help in establishing a hard armor toe of the slope. Existing vertical banks will be regraded to a 2.5:1 slope, matted and seeded.

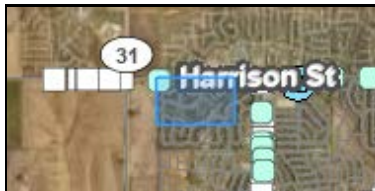


Construct Concrete
Baffled Chute

0 400 800
ft

Map Scale 1: 4514

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



PROJECT: Beadle Creek Channel Stabilization

| NO. | ITEM | APPROX. QUANTITY | UNIT | UNIT PRICE | COST |
|-----|--|---------------------|------|---------------|--------------|
| 1 | Mobilization | 1 | LS | \$ 8,000.00 | \$ 8,000.00 |
| 2 | Clearing and Grubbing, including tree removal | 1 | LS | \$ 10,000.00 | \$ 10,000.00 |
| 3 | Earthwork: Embankment (Borrow Soils), Fill and Compact | 1620 | CY | \$ 10.00 | \$ 16,200.00 |
| 4 | Earthwork: Cut and Shape Existing Soils, Compact | 1 | LS | \$ 5,000.00 | \$ 5,000.00 |
| 5 | Earthwork: HAUL OFF (Unsuitable Soils) | 100 | CY | \$ 15.00 | \$ 1,500.00 |
| 6 | Cast-in-Place Reinforced Concrete Baffled Chute | 1 | LS | \$ 60,000.00 | \$ 60,000.00 |
| 7 | Flexamat Plus Channel and Sideslope Armoring | 300 | SY | \$ 108.00 | \$ 32,400.00 |
| 8 | Mirafi 180N Geotextile | 300 | SY | \$ 2.75 | \$ 825.00 |
| 9 | North American Green, S150 RECB | 650 | SY | \$ 3.25 | \$ 2,112.50 |
| 10 | Type 'A' Rock Rip Rap, Work and Shape into Place | 80 | TON | \$ 75.00 | \$ 6,000.00 |
| 11 | 3-inch minus, well-graded angular rock, in place | 20 | TON | \$ 60.00 | \$ 1,200.00 |
| 12 | Sediment and Erosion Control Measures | 1 | LS | \$ 6,000.00 | \$ 6,000.00 |
| 13 | Sidewalk Pavement Removal (Trail) | 775 | SF | \$ 4.00 | \$ 3,100.00 |
| 14 | 5" PCC Sidewalk Pavement (Trail) | 775 | SF | \$ 8.00 | \$ 6,200.00 |
| 16 | Final Site Stabilization (Seeding Type 'B') | 0.9 | AC | \$ 6,500.00 | \$ 5,850.00 |

TOTAL ESTIMATED CONST. COST: \$ 164,387.50

Contingency (15%): \$ 24,658.13

TOTAL COST: \$ 189,045.63

Concept Narrative

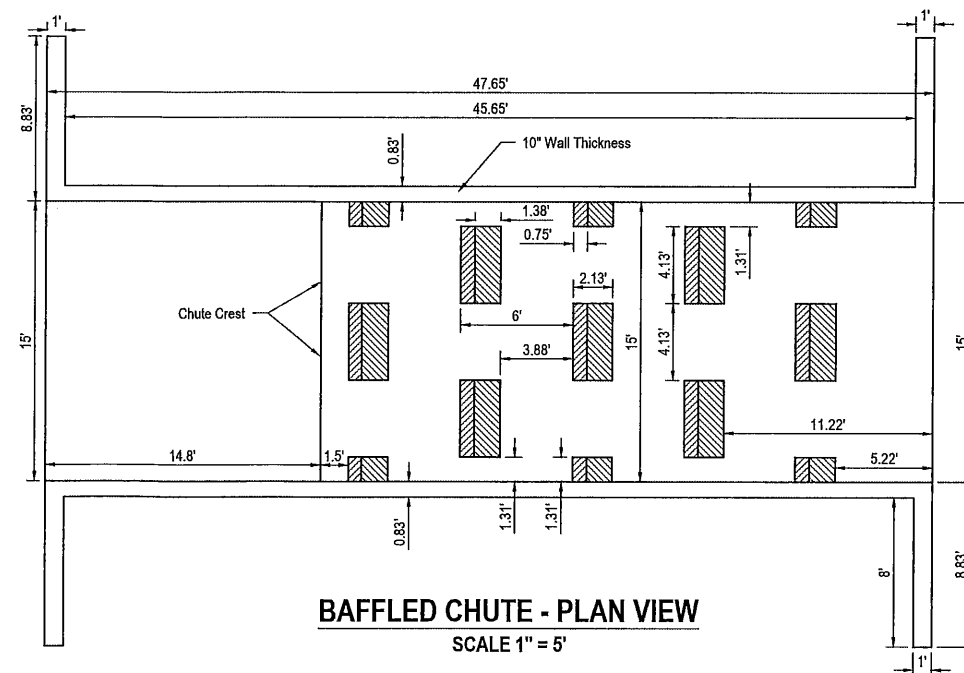
Fill Channel and compact soils to provide cover for existing sanitary sewer mains.

Construct cast-in-place concrete baffled chute as grade control structure. Approximate drop of 10 foot at structure.

Construct armored, pre-formed scour holes below baffled chute

Furnish and Install Flexamat Plus through channel section to ≈3 ft height above invert for scour protection. (≈100 LF channel section improvement)

1. All project procedures, materials, bonds and reserves shall conform to the City of Omaha's Standard Specifications for Public Works Construction, 2020 Edition ("Standard Specifications"). It is the responsibility of the CONTRACTOR to be aware of the contents of the Standard Specifications. The Standard Specifications can be found at: <https://publicworks.cityofomaha.org/contractors-consultants2/contractors/standard-plates-curb-ramps-and-specifications>
2. References to "Standard Plates" refers to the City of Omaha's 2020 Standard Plate list. These Standard Plates can be found at: <https://publicworks.cityofomaha.org/2018-standard-plate-list>
3. Barricades shall conform to the Omaha Public Works "Barricading Standards, Specifications, Methods and Materials", and/or the "Manual on Uniform Traffic Control Devices", and any additions thereto. The aforementioned publications can be found at <https://publicworks.cityofomaha.org/images/PDF/Barricading-Standards-Specs-Methods-and-Materials.pdf> and https://mutcd.fhwa.dot.gov/pdfs/2009r1r2/pdf_index.htm
4. The time limit to complete the work is listed on the Proposal in the Specifications.
5. The INSPECTOR shall certify the CONTRACTOR adheres to and meets all construction specifications and plans; maintenance, safety, workmanship, and testing requirements; and applicable regulatory compliance issues.
6. Approval shall be obtained from the City of Omaha Public Works Department for all applicable public improvements prior to the commencement of construction. The CONTRACTOR shall check with the INSPECTOR for City of Omaha Public Works Department approval of the project before starting work.
7. The CONTRACTOR and INSPECTOR shall ensure all impacted government agencies (City of Omaha, Douglas County, State of Nebraska, Corps of Engineers, Papio-Missouri River Natural Resource District, United States Federal Government, etc.) have granted all applicable permission to proceed with construction prior to mobilization. Furthermore, 48 hours prior to the commencement of construction, the INSPECTOR shall notify all concerned parties that work will be proceeding within each impacted government agency jurisdictional boundary.
8. Construction found to be unacceptable to the City of Omaha Public Works Department shall be removed and replaced at the CONTRACTOR's expense.
9. The INSPECTOR shall notify the following City of Omaha Public Works Department personnel 48 hours prior to all preconstruction meetings and 48 hours prior to the start of any construction: Matt Grosse (Phone: 402-444-5282; email: matthew.grosse@cityofomaha.org) and Traffic Maintenance (Phone: 402-444-5160).
10. The INSPECTOR shall submit weekly progress reports to the following City of Omaha Public Works Department employee no later than the following week ending date: Matt Grosse (Phone: 402-444-5282; email: matthew.grosse@cityofomaha.org).
11. The INSPECTOR shall notify the following City of Omaha Public Works Department personnel 48 hours prior to lane closures and 24 hours prior to lane restrictions: Matt Grosse (Phone: 402-444-5282; email: matthew.grosse@cityofomaha.org) and Traffic Maintenance (Phone: 402-444-5160).
12. All operations conducted on the premises, including the warming-up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment, and any other associated equipment shall be limited to the period between 7:00 A.M. and 6:00 P.M. Monday through Friday; and, no earthmoving or grading operations shall be conducted on the premises on Saturdays or Sundays or legal holidays, unless waived by the INSPECTOR and the City of Omaha Public Works Department.
13. The CONTRACTOR shall notify all impacted utility companies via One Call (dial 811 or 800-331-5666) 48 hours before work is started to verify utility locations.
14. The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records. Existing utilities are approximate and for record purposes. Existing utilities are located on plans only for the convenience of the CONTRACTOR. Existing utility service laterals may not be shown on the plans. The CONTRACTOR shall locate all underground and overhead interference's which may affect his operation during construction and shall take all necessary precautions to avoid damage the same.
15. The CONTRACTOR shall take all precautionary measures necessary to protect existing utility lines, structures and street improvements which are to remain in place, from damage, and all such improvements or structures damaged by the CONTRACTOR'S operations shall be repaired or replaced satisfactory to the INSPECTOR and owning utility company at the expense of the CONTRACTOR.
16. All construction shall be as shown on these plans. Any revisions shall have the prior written approval of the DESIGNER and City of Omaha Public Works Department.
17. Construction may require the disturbance of existing drainage and erosion control measures. The CONTRACTOR shall make themselves aware of the existing drainage and erosion control measures prior to bidding this work. The function of these items must be maintained throughout construction with emphasis placed on restoring their integrity prior to any rainfall event. Erosion control improvements have been constructed on this site, including terraces, silt fencing, and temporary sediment basins. The CONTRACTOR shall be responsible for prompt reconstruction of any erosion control improvements disturbed by his operations. All disturbed erosion control improvements shall be fully reconstructed at the end of each working day prior to leaving the site.
18. Elevations are referenced to U.S.G.S. Datum.
19. CONTRACTOR shall adjust all new and existing inlets, valve boxes, manhole rims, and sewer clean outs, etc. to finish grade as applicable whether or not they are shown on the plans.
20. The CONTRACTOR shall adhere to good housekeeping best management practices at all times. Good housekeeping best management practices focus on keeping the work site clean and orderly while handling materials and waste in a manner that eliminates the potential for pollutant runoff.
21. The construction documents (e.g., Contract, Bond, Insurance, Specifications, and Construction Plans) are essential and a requirement in one part is as binding as though occurring in all. Thus, the construction documents are complementary in nature. The documents describe and provide the complete construction project. The CONTRACTOR may not take advantage of any apparent construction project errors or omissions. The CONTRACTOR shall notify the INSPECTOR promptly of any omissions or errors. In the case of a discrepancy between parts of the construction documents, the most stringent construction methodology shall rule.
22. The CONTRACTOR shall be responsible for coordinating their work with the Engineer in requesting line stakes and grades. The Owner will not be responsible for delays due to lack of grades or line stakes.
23. The CONTRACTOR shall be charged for replacing construction stakes and lot pins which are destroyed by his operations.
24. The CONTRACTOR is hereby referred to Subsection 100.03-E of the Standard Specifications relative to cleaning of the work area. The final estimate will not be processed until the Contractor has satisfactorily cleaned and flushed the pavement slab of all rubbish, excess material, mud and debris, and all parts of the work area have been left in a neat and presentable manner. All disturbed right-of-way areas shall be restored to a level and smooth surface prior to acceptance of the work.
25. The CONTRACTOR shall place silt fence as shown and as directed by the Engineer to prevent sediment from leaving the construction site.



Urban Conservation Assistance Program – Application Form



Project name West Dodge Station / Silverleaf Estates - 2020 Channel Improvements

Project location (attach location map) Behind North 184th Street and North 183rd Circle

Sponsor organization SID 503, West Dodge Station / Silverleaf Estates

Sponsor address 11440 West Center Road

City Omaha State NE ZIP 68144

Contact person Robert F. Czerwinski Jr.

Title Municipal Services Dept. Manager

Email address bczerwinski@eacg.com Daytime phone 402.510.1329

Description of problem (attach additional sheets as needed)

See attached sheet

Proposed solution (attach additional sheets as needed)

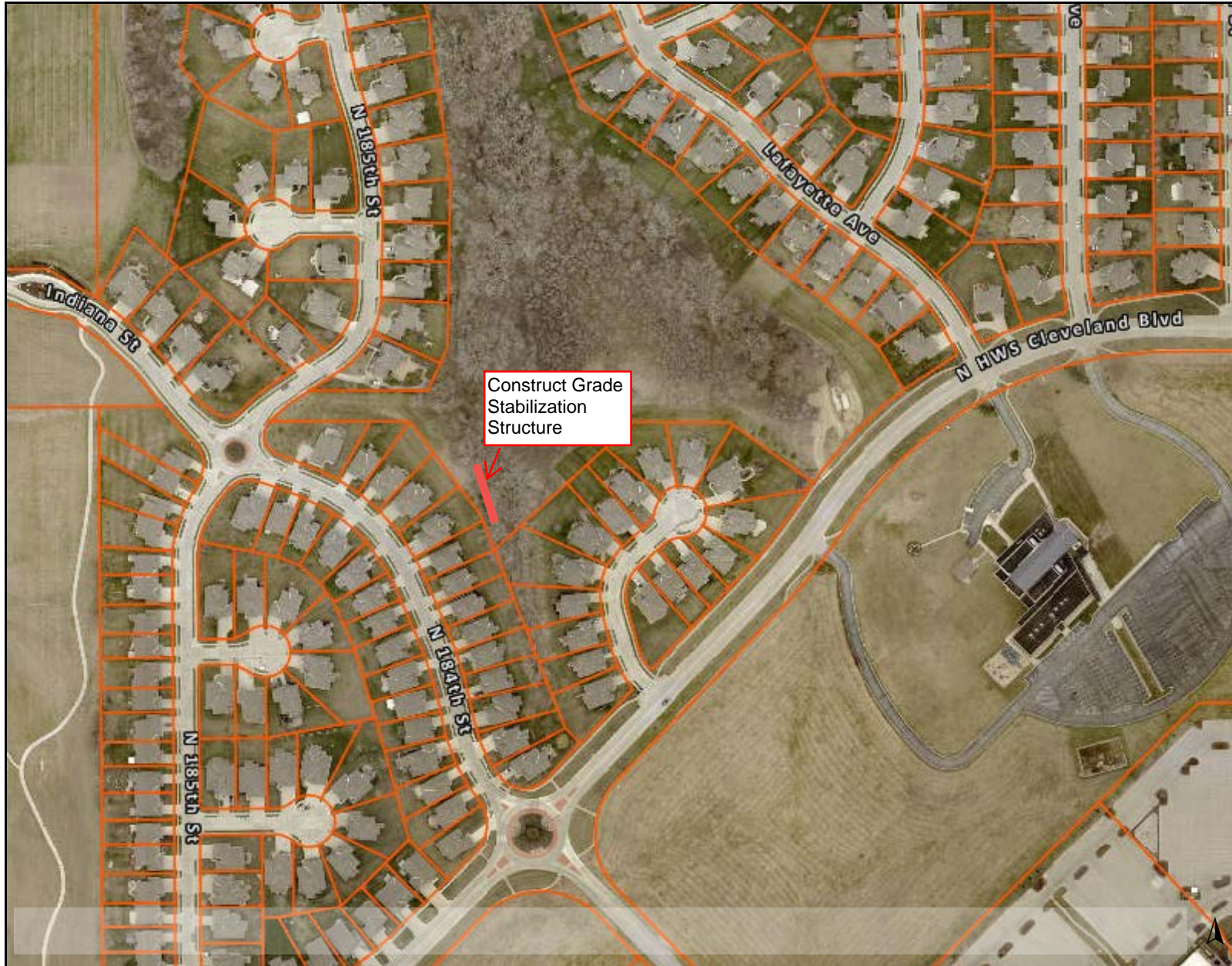
See attached sheet

Total estimated cost \$ 150,000 Cost share request \$ 30,000

Robert F. Czerwinski Jr.
Signature

3-19-2021
Date

Municipal Services Dept. Manager
Title



Legend

Parcels

Property Lines



2020 Imagery



Red: Red

Green: Green

Blue: Blue

0 500 1000
ft

Please contact Douglas County GIS for map questions (gis@douglascounty-ne.gov)

Printed from dogis.org:
03/19/2021 00:00:00

This map is a user generated static output from an Internet mapping site and is for reference only. Data on this map may or may not be accurate, current, or otherwise reliable. It is for informational purposes only, and may not be suitable for legal, engineering, or surveying purposes. Do NOT use property lines from this website for 18 submissions.

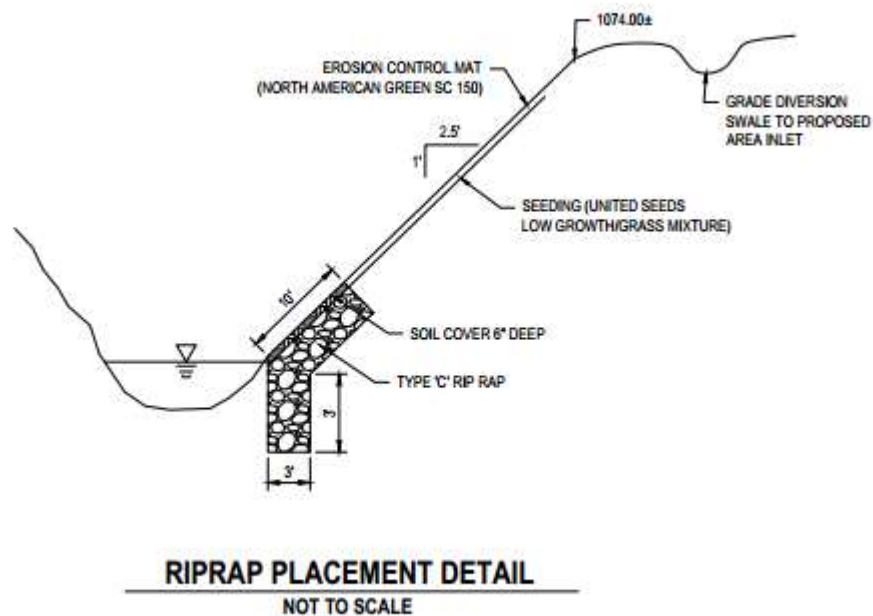
URBAN CONSERVATION ASSISTANCE PROGRAM – APPLICATION FORM

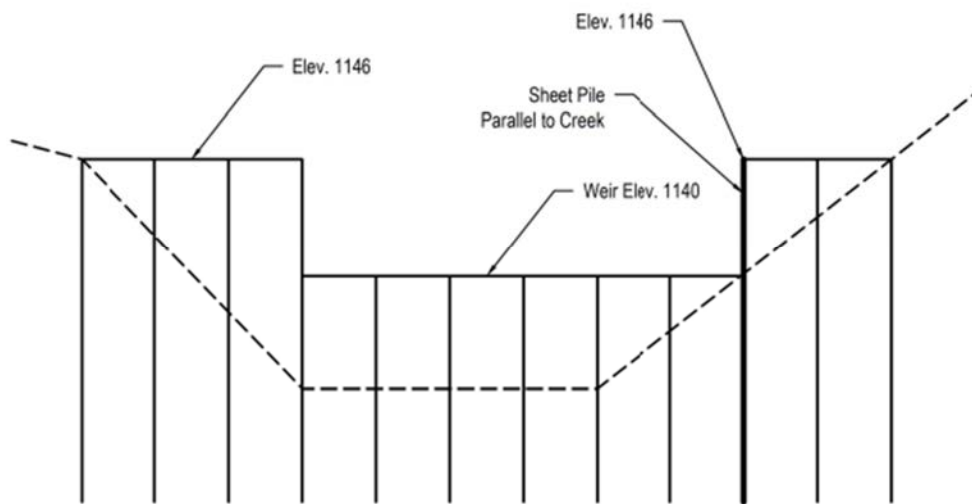
Description of problem –

A tributary of the West Papillion Creek, bordering West Dodge Station / Silverleaf Estates (SID 503) has experienced significant bank sloughing and erosion on the east and west bank. Further bank erosion is anticipated, jeopardizing the adjacent private property owners.

Proposed solution –

The proposed solution is to stabilize the eroding creek by installing grade control, channel restoration, and bank stabilization. Grade control would include the installation of sheet pile weir structures. The placement of rip rap and sheet pile along the west bank will help in establishing a hard armor toe of slope. Existing vertical banks will be regarded to a 2.5:1 slope, matted and seeded.





NORTH WEIR SECTION
NOT TO SCALE

Urban Drainageway Program – Application Form



Project name Restore flow from W 18th to W 29th Street drainageway

Project location (attach location map) Refer to attached

Sponsor organization City of South Sioux City

Sponsor address 1615 1st Avenue

City South Sioux City State NE ZIP 68776

Contact person Oscar Gomez

Title Assistant City Administrator

Email address ogomez@southsiouxcity.org Daytime phone 402-494-7500

Description of problem (attach additional sheets as needed)

Refer to attached description and map

Proposed solution (attach additional sheets as needed)

Refer to attached description and map

Level of Design Level 1 ☐ Level 2 ☒ Level 3 ☐

Total estimated cost \$ 51,000 Cost share request \$ 30,600


Signature

3/8/2021
Date

Mayor
Title

FY2022 Urban Drainageway Program

South Sioux City – Open up and restore flow from W 18th to W 29th Street drainageway

Project: The Drainage Project will cleanout sediment and vegetation to restore flow to the channel to sustain adequate runoff and flow during high water events in this area. Activities include removing debris, sediment, trees and tree stumps to help flow in this relatively flat area. This effort will resolve elevated standing water and backflow issues from West 18th to West 29th Streets.

Problem / Need: South Sioux City has long struggled with drainage issues on the west side of the city from Highway 77 to 29th Street. The existing grade in the entire area is extremely flat and the existing soils are mostly fat clay (60%), allowing for little absorbency. The existing drainage ditch conveyance does receive a large amount of runoff from the surrounding streets, businesses and residential areas. This volume of water at times overwhelms the existing drainage area. (Figure 1: Study Area Overview)

Standing water often exists in both the open and closed culverts year-round and is exacerbated when heavy rain events occurs. This is further made worse in the Spring when the ground is still frozen, rains occur and/or rapid snow-melts as occurred most recently in the Spring of 2019. Residents near the area have complained about the presence of the 3-4 feet standing water in the open convert, mosquitos, foul smells, debris and dead animals that collect at the grate covering the inlet of the pipe.

Request

The Urban Drainageway Program will open up and restore flow from W 18th to 29th Street by removing debris, trees, tree stumps and opening the channel flow. This will restore connection to outflows

Budget

Preliminary cost estimates are \$36,000 to clean out sediment, restore open drainageway, clean out culverts, tree removals and stump removal that impedes flows. Costs estimates include:

| Description | Pricing |
|--|-----------------|
| Clean out sediment, vegetation. Restore banks in open areas | \$36,000 |
| Tree removal | \$10,000 |
| Stump removal | \$ 5,000 |
| TOTAL | \$51,000 |
| | |
| Cost Share NRD 60% | \$30,600 |
| Cost Share City | \$20,400 |



Imagery ©2021 Google, Map data ©2021 500 ft

RESOLUTION 2021-24

RESOLUTION AUTHORIZING CITY TO SUBMIT APPLICATION WITH PAPIO-MISSOURI RIVER NATURAL RESOURCES DISTRICT (NRD) – URBAN DRAINAGE WAY PROGRAM REGARDING REHABILITATION FROM 29TH STREET TO 18TH STREET

WHEREAS, the City of South Sioux City, Nebraska (hereinafter "City) is desirous of submitting an application to the Papio-Missouri River Natural Resources District (NRD) – Urban Drainage Way Program ("Application"); and

NOW THEREFORE BE IT RESOLVED by the Mayor and City Council of the City of South Sioux City, Dakota County, Nebraska, that the City is authorized to make and submit Application for \$51,000.00 with 40-60% cost share from 29th Street to 18th Street regarding rehabilitation to include drainage cleanout, tree and stump removal as needed.

IT IS FURTHER RESOLVED by the Mayor and City Council of the City of South Sioux City, Dakota County, Nebraska, that the Mayor or the Grant Administrator be authorized and directed to sign and proceed with the formulation of any and all contracts, documents and other memorandum between the City of South Sioux City, Dakota County, Nebraska and the Papio-Missouri River Natural Resources District (NRD) in connection with said Application.

PASSED AND APPROVED this 8th day of March, 2021.



MAYOR

ATTEST:



CITY CLERK

(SEAL)

Urban Drainageway Program – Application Form



Project name 84th & Valley Road Channel Improvements

Project location (attach location map) 84th & Valley Road

Sponsor organization City of Papillion, Nebraska

Sponsor address 9909 Portal Road, Building A

City Papillion State NE ZIP 68046

Contact person Jeffrey L. Thompson, PE, CPESC, CFM

Title Public Works Director/ City Engineer

Email address jefft@papillion.org Daytime phone 402-898-9092

Description of problem (attach additional sheets as needed)

Unnamed Tributary to West Papillion Creek has experienced channel degradation which threatens critical infrastructure and private property. See attached for additional details.

Proposed solution (attach additional sheets as needed)

Realignment of channel; grade and bank stabilization; raising of channel grade and introduction of floodplain benches. See attached for additional details.

Level of Design Level 1 ☐ Level 2 ☒ Level 3 ☐

Total estimated cost \$ 1,800,000 Cost share request \$ 1,080,000


Signature

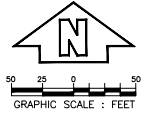
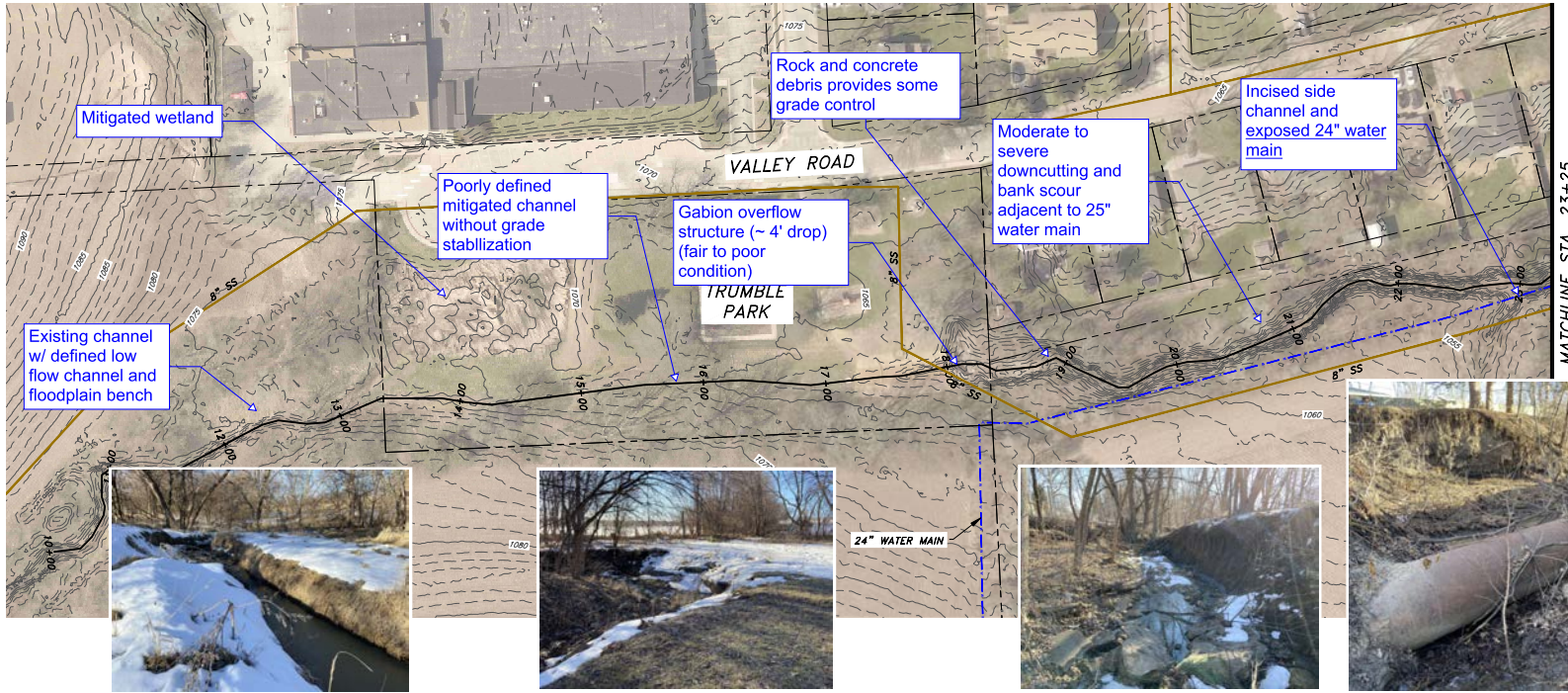
3/19/2021
Date

Public Works Director/City Engineer
Title

Figure I-1. Vicinity Map

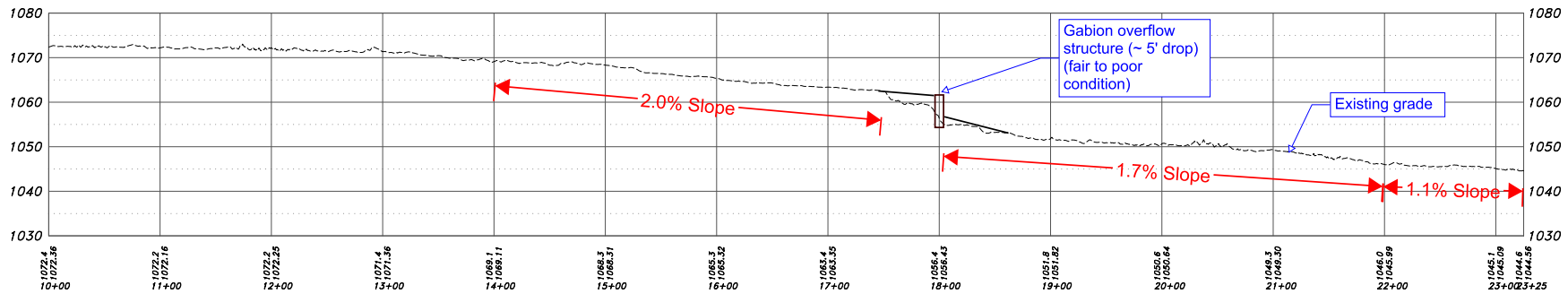


FILENAME: C:\Users\Bjorkman\Documents\GIS\2021\2021_03\1087_P1087.dwg
 DATE PLOTTED: 3/9/2021 2:58 PM DRAWN BY: XXX PLOT SCALE: 1:2



LEGEND

- 2016 LIDAR CONTOURS
- - - RIGHT OF WAY



CONDITIONS EVALUATION

| | | |
|--|---|--------|
| | CITY OF PAPILLION PUBLIC WORKS DEPARTMENT | SHEET |
| | | 1 OF 2 |

**Conceptual Level
Opinion of Probable Cost**

84th & Valley Road Channel Improvements

Assumptions/Comments:

1900 LF of channel improvements - includes work in

| Bid Item Description | | Approximate Quantity | Unit | Unit Price | Total |
|---|---|--|------|--------------|----------------|
| 1 . | CLEARING AND GRUBBING | 1 | LS | \$40,000.00 | \$40,000.00 |
| 2 . | FLOW MANAGEMENT | 1 | LS | \$25,000.00 | \$25,000.00 |
| 3 | SWPPP MAINTENANCE ALLOWANCE | 1 | LS | \$40,000.00 | \$40,000.00 |
| | CONSTRUCT CONSTRUCTION ENTRANCE, SIGNS, CONCRETE | | | | |
| 4 . | WASHOUT | 1 | EA | \$10,000.00 | \$10,000.00 |
| 5 | ROCK RIFFLE (TYPE B/C RIP-RAP MIX) | 1,600 | TON | \$70.00 | \$112,000.00 |
| 6 | TOE ROCK AND BANK PROTECTION (TYPE B/C RIP-RAP MIX) | 2,200 | TON | \$70.00 | \$154,000.00 |
| 7 | CONSTRUCT GROUTED BOULDER DROP STRUCTURE | 3 | EA | \$100,000.00 | \$300,000.00 |
| 8 . | CONSTRUCT SHEET PILE | 1,800 | SF | \$60.00 | \$108,000.00 |
| 9 . | COMMON EARTH EXCAVATION | 6,000 | CY | \$6.00 | \$36,000.00 |
| 10 . | COMMON EARTH HAUL IN | 3,000 | CY | \$20.00 | \$60,000.00 |
| 11 | CONSTRUCT AND REMOVE STRAW WATTLES | 3,800 | LF | \$6.00 | \$22,800.00 |
| 12 | COIR NETTING | 1,800 | SY | \$12.00 | \$21,600.00 |
| 13 . | EROSION CONTROL BLANKET (BIODEGRADABLE) | 5,000 | SY | \$5.00 | \$25,000.00 |
| 14 . | NATIVE SEEDING | 5.0 | AC | \$4,000.00 | \$20,000.00 |
| 15 . | LIVE STAKES | 1 | LS | \$40,000.00 | \$40,000.00 |
| 16 . | TREE PLANTING | 1 | LS | \$40,000.00 | \$40,000.00 |
| PROJECT SUBTOTAL | | | | | \$1,054,400.00 |
| CONTINGENCY | | (30% of Project Subtotal) | | | \$316,320.00 |
| MOBILIZATION/DEMOBILIZATION | | (5% of Project Subtotal + Contingency) | | | \$68,536.00 |
| Estimated Construction Costs: | | | | | \$1,439,256.00 |
| Estimated Soft Costs (25%): (Survey, Geotech, Environmental, Design, Permitting, CA) | | | | | \$359,814.00 |
| Estimated Total Costs: | | | | | \$1,799,070.00 |

Urban Conservation Assistance Program – Application Form



Project name Summer Glen - Bank Stabilization

Project location (attach location map) Parker Street and North 207th Avenue

Sponsor organization SID 541, Summer Glen / Bellewood

Sponsor address 11440 West Center Road

City Omaha State NE ZIP 68144

Contact person Robert F. Czerwinski Jr.

Title Municipal Services Dept. Manager

Email address bczerwinski@eacg.com Daytime phone 402.510.1329

Description of problem (attach additional sheets as needed)

See attached sheet

Proposed solution (attach additional sheets as needed)

See attached sheet

Total estimated cost \$ 391,500.00 Cost share request \$ 30,000.00

Robert F. Czerwinski Jr.
Signature

2-26-2021
Date

Municipal Services Dept. Manager
Title

URBAN CONSERVATION ASSISTANCE PROGRAM – APPLICATION FORM

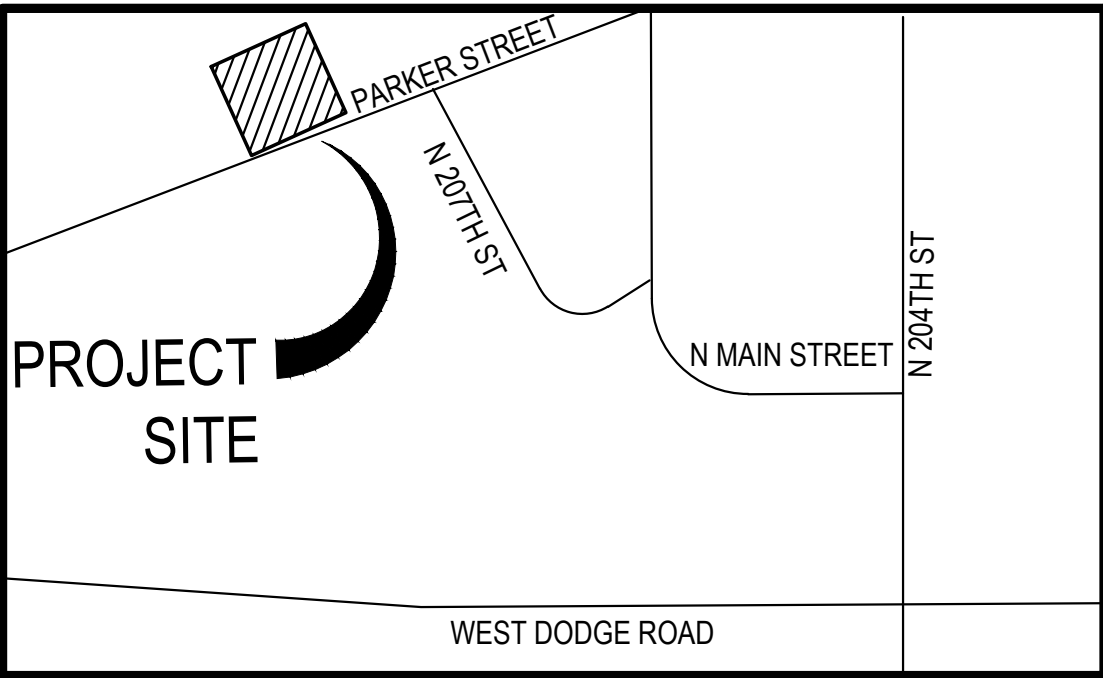
Description of problem –

A tributary of the West Papillion Creek, bordering Summer Glen / Bellewood (SID 541) has experienced significant bank sloughing and erosion on the east and west bank exposing two sanitary sewer pipes. Further bank erosion is anticipated, jeopardizing the adjacent property owners and exposing more of the sanitary sewer pipes.

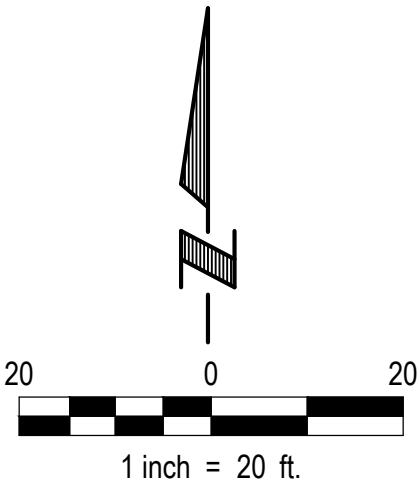
Proposed solution –

The proposed solution is to stabilize the eroding creek by installing grade control, channel restoration, and bank stabilization. Grade control would include the installation of two cast-in-place reinforced concrete weir. The placement of flexamat and rip rap will help along the east and west bank will help in establishing a hard armor toe of the slope. Existing vertical banks will be regraded to a 2:1 slope, 3:1 slope, and matted and seeded.

BANK STABILIZATION PLANS FOR
SUMMER GLEN
OUT LOT I
Located in Section 13, Township 15, Range 10E, of the 6th P.M.
SID NO. 541
OMAHA, NEBRASKA



VICINITY MAP

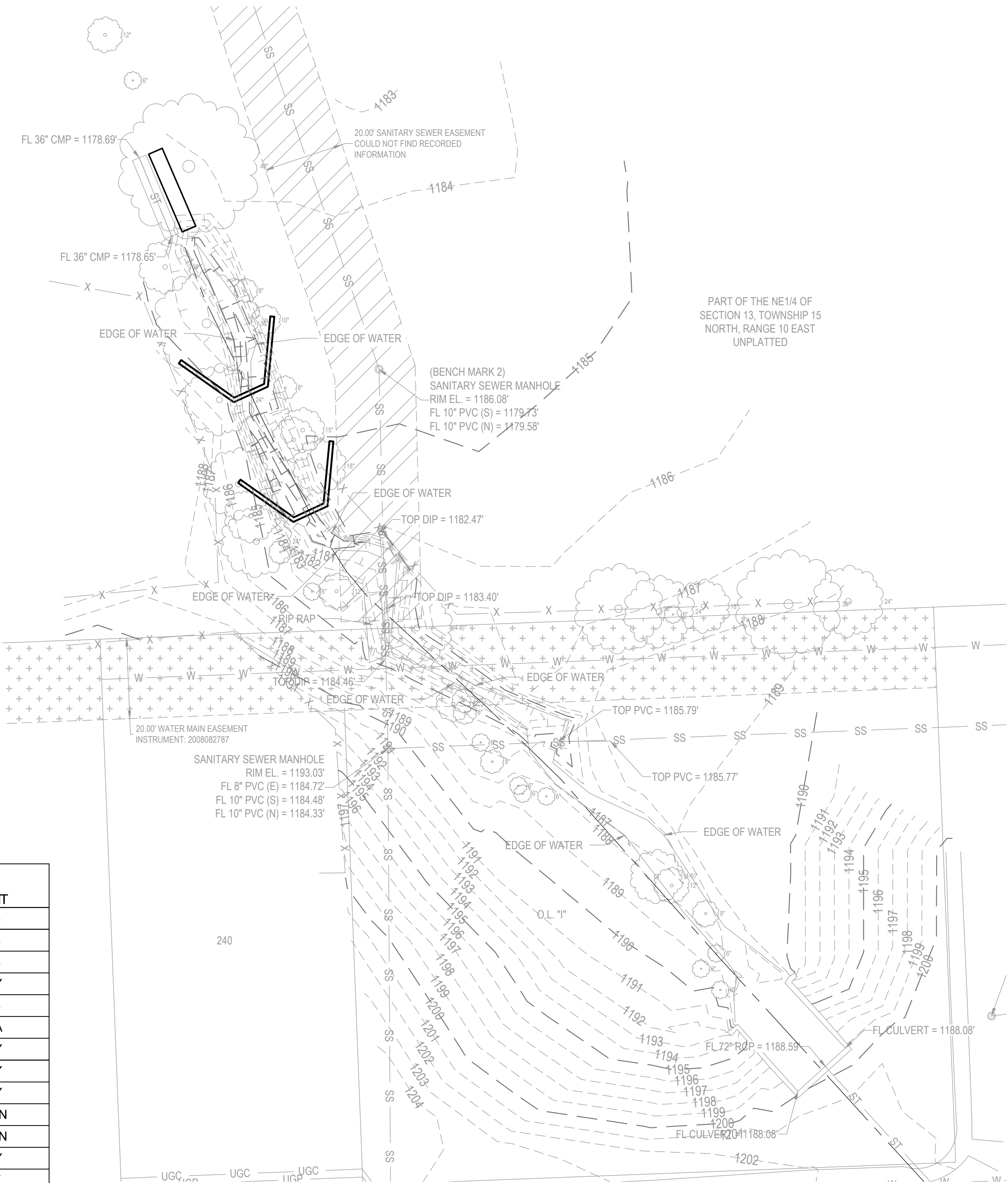


| INDEX OF SHEETS | |
|-----------------|---------------------------------|
| SHEET NO. | DESCRIPTION |
| 1 | COVER SHEET |
| 2 | TOPOGRAPHIC SURVEY |
| 3 | GENERAL NOTES |
| 4 | PLAN AND PROFILE |
| 5 | WEIR STRUCTURE DETAILS |
| 6 | TYPICAL SECTIONS AND REMOVALS |
| 7 | SEDIMENT & EROSION CONTROL PLAN |
| 8 | SEDIMENT & EROSION CONTROL PLAN |

BENCHMARK:

BENCHMARK #1: NORTH RIM OF A SANITARY MANHOLE LOCATED AT THE APPROXIMATE CENTER OF INTERSECTION OF 207TH AVENUE AND PARKER STREET.
ELEV: 1201.35'

BENCHMARK #2: NORTH RIM OF A SANITARY MANHOLE LOCATED APPROXIMATELY 75.0'± NORTHEAST OF THE NORTHEAST CORNER OF LOT 240, SUMMER GLEN.
ELEV: 1186.08'



APPROXIMATE BID QUANTITIES

| NO. | ITEM | APPROX. QUANTITY | UNIT |
|-----|--|------------------|------|
| 1 | Mobilization | 1 | LS |
| 2 | Clearing and Grubbing, including tree removal | 1 | LS |
| 3 | Remove and Salvage Rock-filled Gabions | 1 | LS |
| 4 | Earthwork: Embankment (Borrow Soils), Fill and Compact | 1200 | CY |
| 5 | Earthwork: Cut and Shape Existing Soils, Compact | 120 | LS |
| 6 | Cast-in-Place Reinforced Concrete Weir | 2 | EA |
| 7 | Flexamat Plus Slope and Channel Protection | 285 | SY |
| 8 | Mirafi 180N Geotextile | 95 | SY |
| 9 | North American Green, S150 RECB | 200 | SY |
| 10 | Type 'B' Rock Rip Rap, Work and Shape into Place | 267 | TON |
| 11 | 3-inch minus well graded rock, in place | 75 | TON |
| 12 | Earthwork: HAUL OFF (Unsuitable Soils) | 20 | CY |
| 13 | 36" diameter, aluminized Corrugated Metal Pipe | 24 | LF |
| 14 | Sediment and Erosion Control Measures | 1 | LS |
| 15 | Final Site Stabilization (Seeding Type 'B') | 1 | LS |

PROJECT INFORMATION

| | | | | |
|---|--|--|----------------------------------|--|
| OMA-20200701-5446 Project Number Assigned by PWD | N/A Grading Permit Project Number Assigned by PWD | 541 SID Number | 9/1/2020 Estimated Start Date | 10/1/2020 Estimated Completion Date |
| Channel Stabilization Project Name | Summer Glen / Bellewood Subdivision Name | | | |
| 20772 Parker Street Address | Douglas County City | Nebraska State | 68022 Zip Code | |
| TBD City Council Resolution Number Granting Project Approval | TBD City Council Ordinance Number Granting Project Approval | TBD City Council Resolution/Ordinance Approval Date | | |

PROJECT DESCRIPTION

The construction of channel and bank stabilization measures to repair erosion that has undermined existing sanitary sewer mains.

APPLICANT

Douglas County SID 541
c/o FJJ&B LLP
11440 West Center Rd
Omaha, NE 68114
P: 402-334-0700
F: 402-334-0815
christopher.powers16@gmail.com

DESIGNER

E & A Consulting Group, Inc.
Paul Gonzales, P.E.
10909 Mill Valley Road, Suite 100
Omaha, NE 68154
P: 402.895.4700
F: 402.895.3599
pgonzales@eacg.com

INSPECTOR

E & A Consulting Group, Inc.
Randy Pierce, P.E.
10909 Mill Valley Road, Suite 100
Omaha, NE 68154
P: 402.895.4700
F: 402.895.3599
rpierce@eacg.com

CONTRACTOR

OPW 53932 PROJECT TYPE: SP

E & A CONSULTING GROUP, INC.
Engineering • Planning • Environmental & Field Services



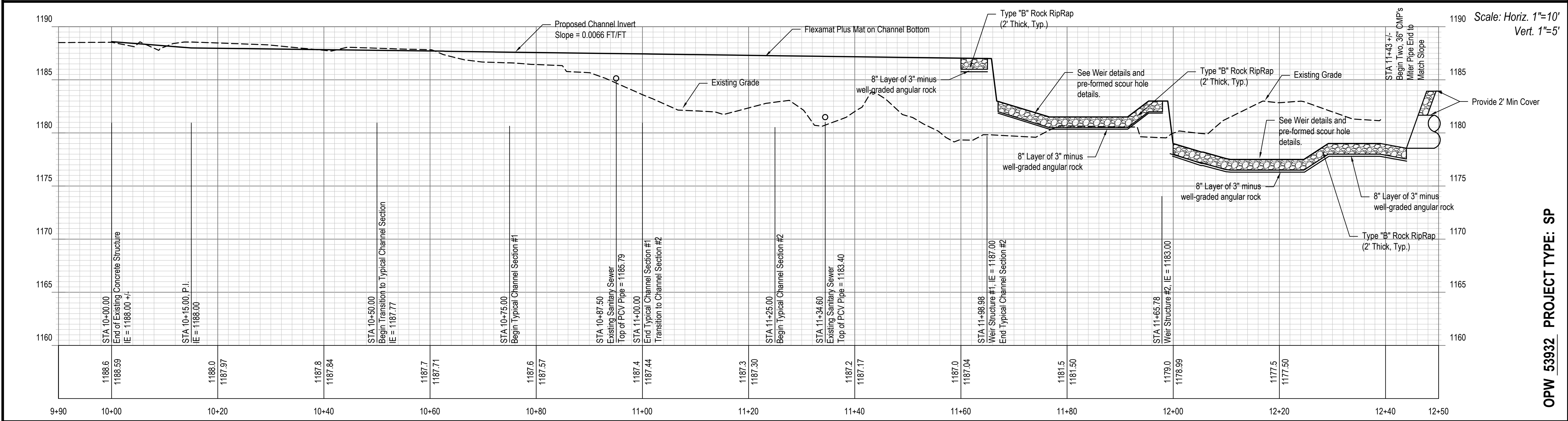
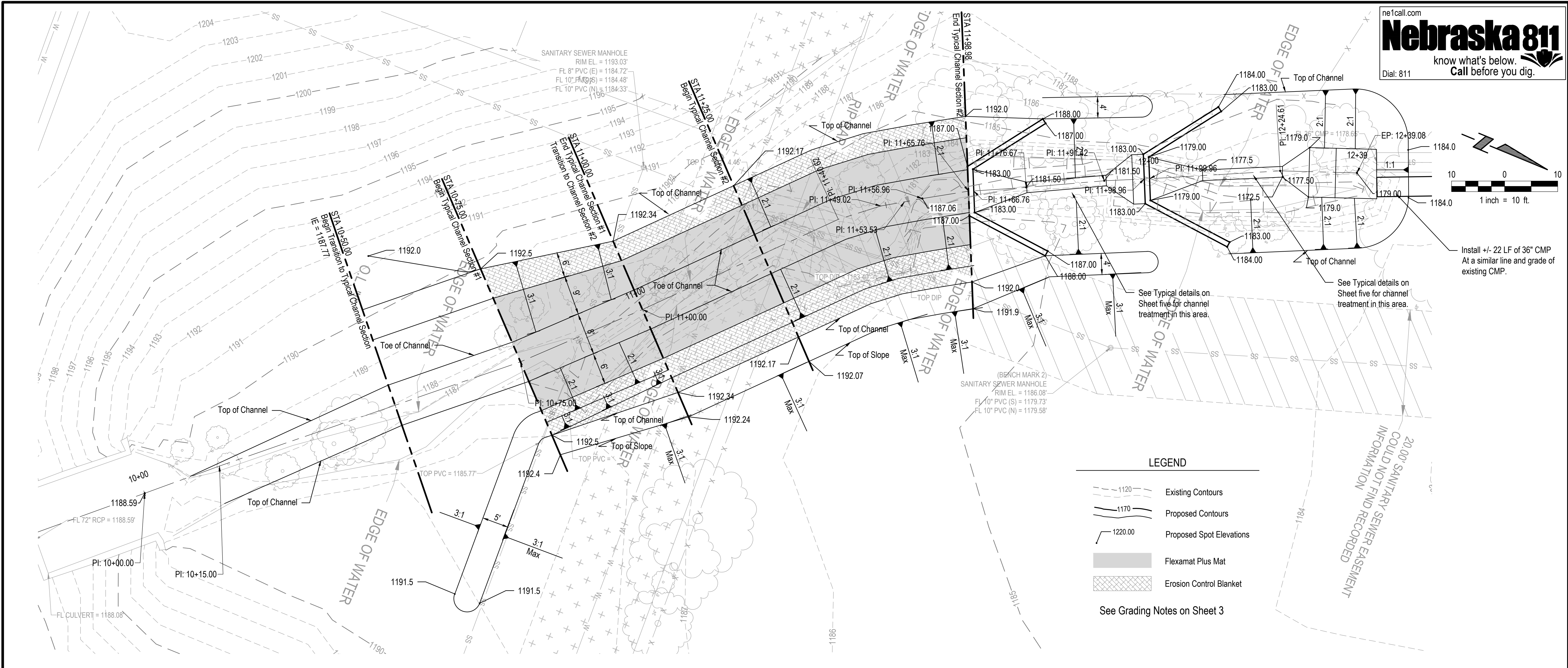
SUMMER GLEN
OUT LOT I
SID 541
OMAHA, NEBRASKA

COVER SHEET



| Revisions | Description | Date |
|-----------|----------------|------------|
| 1 | Initial Design | 07/22/2020 |
| 2 | Revised Design | 07/22/2020 |
| 3 | Final Design | 07/22/2020 |

| | | |
|------------------------|------------------|-----------------|
| Proj No: P2006.043.012 | Designed By: PUG | Scale: AS SHOWN |
| Date: 07/22/2020 | Drawn By: ARH | Sheet: 1 of 8 |



E & A CONSULTING GROUP, INC.
Engineering • Planning • Environmental & Field Services

E & A CONSULTING GROUP, INC.
Engineering Answers

SUMMER GLEN
OUT LOT
SID 541
OMAHA, NEBRASKA

PLAN AND PROFILE

PROFESSIONAL CIVIL ENGINEER
PAUL J. GONZALES
E-10420
STATE OF NEBRASKA
7/22/2020

| Proj No: | Date: | Revisions |
|---------------|------------|-----------|
| P2006.043.012 | 07/22/2020 | |

| Date: | Designed By: | Drawn By: | Scale: | Sheet: |
|------------|--------------|-----------|----------|--------|
| 07/22/2020 | PJG | ARH | AS SHOWN | 4 of 8 |

7/28/2020 3:44 AM K:\projects\2006\043\12\Engineering\CAD File\Grading\Summer Glen Bank Stabilization - 000.dwg
Brad Williams

Recreation Area Development Program - Application Form



Project name Arlington Dog Park
Project location (attach location map) 435 Pst St, Arlington NE 68002
Sponsor organization Village of Arlington
Sponsor address PO Box 156
City Arlington State NE ZIP 68002
Contact person GAIL DWYER
Title Co chair, Arlington Dog Park Comm. Hec
Email address ar10dogpark@gmail.com Daytime phone 402 720 4975

Description of project (attach additional sheets as needed)

Budget attached. Letter of support attached.
Diagrams attached. Committee members attached.
Fundraising plan attached. Arlington Strategic Plan Attached.

Total estimated cost \$ 53,364

Cost share request \$ 20,000

Gail Dwyer
Signature

3-10-2021
Date

Co chair
Title



Arlington Dog Park

Physical Location

Lot #890035070, #890035063

Dimensions

160' East to west, 280' North to South. 44,800 square feet.

Description

FEMA buyback lots, managed by the Village of Arlington. Lots are located at the southwest corner of 1st and Ellsworth.





Arlington Dog Park's mission is to create a safe, secure and fun environment where people and their dogs can exercise and socialize. We also strive to create a beautiful greenspace for the community from previously flooded and uninhabitable land.

*The Arlington Dog Park Fund is a component fund
of the Fremont Area Community Foundation.*

PO Box 156 Arlington, NE 68002 402-720-4975 arlingtondogpark.com

Recreation Area Development Program – Village of Arlington Dog Park

1. Organization Description

The Arlington Dog Park will exist to provide a safe and fun place for pet owners to take their dogs to exercise and socialize. The organization establishing the Arlington Dog Park exists for that sole purpose. It is comprised of community business owners and citizens who desire to turn a currently uninhabitable lot into a place for the community to use. The goal of the organization is to establish the Arlington Dog Park over the course of eighteen months, 2020-2021. We collaborate with the Village of Arlington who has given us the land and agreed to maintenance of the park. A letter of support from the village is attached.

2. Purpose of Request

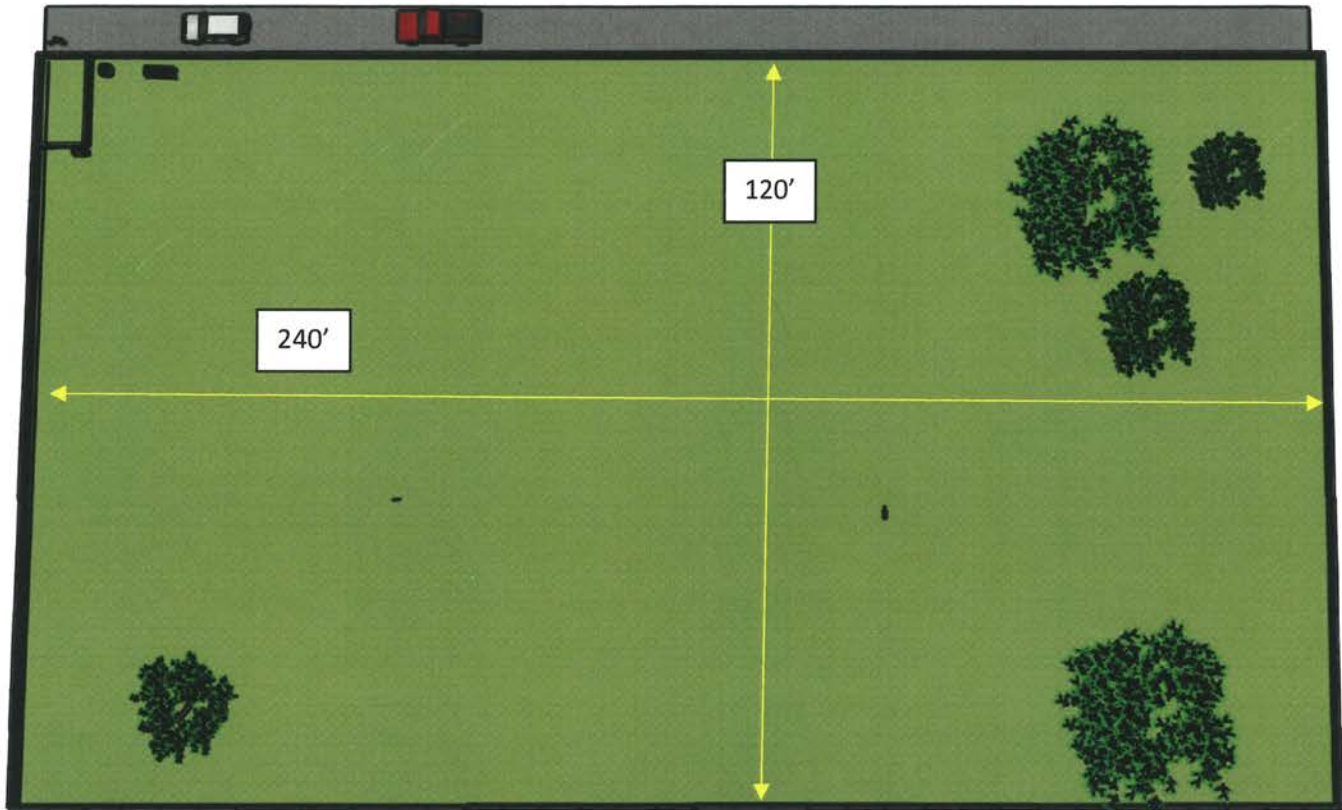
The Arlington Dog Park will be located on 435 1st Street Arlington, Nebraska. The area where the proposed dog park was given to the village of Arlington by Papio Natural Resources District after the 2019 flood. It is currently an empty lot which abuts up to current park facilities. There are baseball fields, tennis courts, picnic shelter and green space. The dog park would add to the community park and recreation area already in place. The village has approved plans for the dog park, but the funds for the project are needed. The proposed budget for the project is \$53,364 and includes fencing, hydrants, benches, picnic tables, shelter, concrete, landscaping, dog agility area, trash cans, parking, signage, and marketing materials.

The dog park will serve Washington County as the sole dog park in the county. The village of Arlington itself has a population of 1243. Although Arlington's population is not huge, there are many pet services available in town. One veterinary clinic and two dog grooming businesses bring pet owners from neighboring communities such as Fremont, Blair, Kennard, Nickerson, and Elk City to Arlington. In Washington County, over 47 percent of households have dogs. Therefore, excluding Fremont and Elk City, at least 8,000 households could be impacted by this project.

3. Committee

In late 2020 a committee of ten was formed and budgets and fundraising plans were established. The budget including expenses, projected and actual income and complete action timeline is attached. In addition to grant applications, the Arlington Dog Park has three fundraising events planned for the 2021 year. These include a music bingo night, a community walk and run event, and a wine tasting fundraiser. The organization has actively promoted the project using social media and direct mail. There are change containers at local businesses to

Top View



General Dimensions

- 120' x 240' overall park dimension. 28,600 square feet of park area.
- 750 linear feet of 4' tall chain link fence.
- 10' x 20' staging area
- 15' wide parking lane
- (1) small gates used to access the staging area
- (1) small gate to access the park from the staging area
- (1) small gate to access the future expansion from the staging area
- (1) Large entry gate for used strictly for park maintenance.

Recreation Area Development Program – Application Form

Project name Arlington Pond

Project location (attach location map) 1st & Bell Street

Sponsor organization Village of Arlington

Sponsor address 245 N. 2nd Street P.O. Box 370

City Arlington State NE ZIP 68002

Contact person Paul Kaup

Title Committee Chairman

Email address pkaup@egansupply.net Daytime phone 402-219-3888

Description of project (attach additional sheets as needed)

New pond feature for recreational use.

Total estimated cost \$ 485,000 Cost share request \$ 50,000

Paul Kaup
Signature

3-19-2021
Date

Committee Chairman
Title



**Arlington Community Pond Project
Project Cost Estimate**

March 19, 2021



Arlington Pond Project Cost Estimate

| <u>NO.</u> | <u>ITEM</u> | <u>UNIT</u> | <u>UNIT PRICE</u> | <u>EST. QUANTITY</u> | <u>TOTAL PRICE</u> |
|------------|---------------------------------|-------------|-----------------------|----------------------|--------------------|
| 1 | Mobilization - Bond - Insurance | LS | \$10,000.00 | 1.0 | \$10,000 |
| 2 | General Clearing & Grubbing | LS | \$5,000.00 | 1.0 | \$5,000 |
| 3 | Strip Vegetation & Topsoil | CY | \$3.00 | 3900.0 | \$11,700 |
| 4 | Excavation | CY | \$2.00 | 60000.0 | \$120,000 |
| 5 | Embankment | CY | \$2.00 | 20000.0 | \$40,000 |
| 5 | Haul Off Excess Dirt | CY | \$4.00 | 40000.0 | \$160,000 |
| 6 | Outlet Structure | LS | \$20,000.00 | 1.0 | \$20,000 |
| 7 | Temporary Culvert | LS | \$50.00 | 40.0 | \$2,000 |
| 8 | Seeding | SY | \$1.00 | 10000.0 | \$10,000 |
| 9 | Erosion Control Blanket | SY | \$1.50 | 10000.0 | \$15,000 |
| 10 | Silt Fence | LF | \$2.50 | 1500.0 | \$3,750 |

| | |
|-------------------|------------------|
| Subtotal = | \$397,500 |
| 15% Contingency = | \$59,600 |
| TOTAL = | \$457,100 |

| | |
|----------------------------|-----------------|
| Geotechnical Investigation | \$5,500 |
| Engineering | \$18,000 |
| Construction Staking | \$4,500 |
| Total | \$28,000 |

| | |
|---------------------------|------------------|
| Total Project Cost | \$485,100 |
|---------------------------|------------------|



Recreation Area Development Program – Application Form

Project name Bellevue B Cycle

Project location (attach location map) Near Mile Marker 9 along the West Papio Trail

Sponsor organization City of Bellevue

Sponsor address 1510 Wall Street

City Bellevue State NE ZIP 68005

Contact person Tammi Palm

Title Planning Manager

Email address tammi.palm@bellevue.net Daytime phone (402) 515-6354

Description of project (attach additional sheets as needed)

Please see attached.

Total estimated cost \$ \$53,219

Cost share request \$ \$26,600

Tammi Palm

Signature

March 11, 2021

Date

Planning Manager

Title



Bellevue B - cycle Location
Outlot A Twin Creek Plaza North Replat VIII





City of Bellevue
Planning Department
1510 Wall Street • Bellevue, Nebraska 68005
(402) 293-3026

Bellevue B-Cycle Implementation Schedule

- May 2021:
 - B-Cycle products will be ordered through Heartland B-Cycle
 - Station Hosting Agreement to be signed between Heartland B-Cycle and the City of Bellevue
- June 2021-July 2021:
 - Station Hosting Agreement to be signed between Heartland B-Cycle and the City of Bellevue
 - Heartland B-Cycle and City of Bellevue will coordinate the promotion and roll-out of the station
- August 2021:
 - Heartland B-Cycle will coordinate with the City of Bellevue for concrete installation and installation of the docking station
 - Heartland B-Cycle will deliver e-bikes and complete set-up



City of Bellevue

Planning Department

1510 Wall Street • Bellevue, Nebraska 68005 • (402) 293-3026

Recreational Area Development Program Application

Description of Project

The Bellevue B-Cycle project aims to locate a bicycle sharing station near mile marker 9 along the West Papio Trail.

In recent years, bicycle sharing has emerged as a popular trend with a positive environmental impact. In order to conserve our natural resources, active transportation and recreational opportunities such as bicycle sharing should be encouraged. It is the City of Bellevue's intent to do that as part of our existing Complete Streets policy.

Near the convergence of the West Papio and Keystone Trails (commonly known as the "Culver's trailhead"), there are many opportunities to encourage cycling and trail use. There are several hotels, residential subdivisions, apartments, and businesses located in close proximity to the trail. Bicycle sharing would help attract visitors and enrich this recreational area. Bicycle sharing would enhance the recreational area by promoting trail use and providing another recreational opportunity for those people who would not otherwise have a chance to do so. This is particularly true for those staying in nearby hotels or visiting the area from out of town. Cycling is a great way to utilize the trail system and take advantage of the area's natural resources.

Heat and point maps are attached which indicate people are riding the trail and show this station would provide an additional recreational opportunity in the area.

The City of Bellevue would partner with Heartland Bike Share for its bicycle sharing program. Heartland Bike Share operates Heartland B-Cycle, which has 75 stations with 400 bicycles (170 e-bikes, 230 classic bicycles) currently in the metro area. Additionally, there are three existing B-Cycle stations along the West Papio Trail: one in First Street Plaza in Papillion, one at Papillion Landing, and one at the Chalco Hills Recreation Area. The proposed Bellevue B-Cycle location would extend the B-Cycle network eastward in Sarpy County and could provide long term connections along the West Papio corridor.

Heartland B-Cycle has proposed e-bikes for the Bellevue project. Heartland B-Cycle has had great success since introducing the e-bikes into their system in May 2019. The attached estimate from B-Cycle is to purchase eight e-bikes and includes activation fees. The proposed B-Cycle station will be a fixed docking station. An estimate is also included for the concrete pad for the station. In conjunction with the proposed B-Cycle station, a fix-it station will be included at this location. The station will be solar operated. Station dimensions are attached for reference.

Recreation Area Development Program – Application Form



Project name Boat Dock Replacement

Project location (attach location map) Blair Optimist Park

Sponsor organization City of Blair

Sponsor address 218 South 16th Street

City Blair State NE ZIP 68008

Contact person Rodney Storm

Title City Administrator

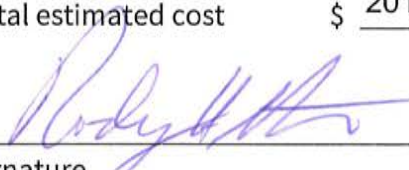
Email address rstorm@blairnebraska.org Daytime phone 402-533-3535

Description of project (attach additional sheets as needed)

See Attached

Total estimated cost \$ 201,250.00

Cost share request \$ 100,000


Signature

3/21/2021

Date

City Administrator

Title

Project Description

Blair Optimist Park Boat Docks

The City Blair is looking at the replacement of the docks at Optimist Park. The Optimist Park boat dock and ramp is one of the few public Missouri River access points between Omaha and Sioux City. The park and boat access is used extensively by the public, law enforcement, NE Game and Parks, US Geological, Corp of Engineers, Federal Fish and Wildlife, and local Fire and Rescue.

The current docks and dock system has been damaged by the recent years of flooding and highwater levels including making the docks unusable for extended time periods.

When the current docks are pulled up the current railing system to keep the docks useable as the river levels rise, the rails get covered with sand and silt deposits which makes the docks nearly impossible to lower for the rest of the boating season when the river levels start to decrease. In other cases, quick changes in the river level will silt in the current railing system overnight causing the docks to be covered and unusable until the river goes back down. When this happens the docks and ramp can become unsafe and/or unusable for long periods, if not for the remainder of the boating season.

The City has been working with HGM to try to come up with a system that will allow the docks to float up and down with the changing of the river levels so that the docks will always be at a consistent and safe useable level off the river.

Attached is drawing showing the new system which will require the driving of pilings to attach the new docks to that will allow them to float up and down. The system will allow the docks to be unbolted and removed for winter storage and/or maintenance without the need for cranes or other expensive equipment. Based on the tremendous use Optimist Park boat ramp gets from the public, with a majority of it coming from outside the City of Blair, the City is requesting the NRD to consider funding this project at \$100,000 or 50% should the cost be less than the estimated \$201,250.

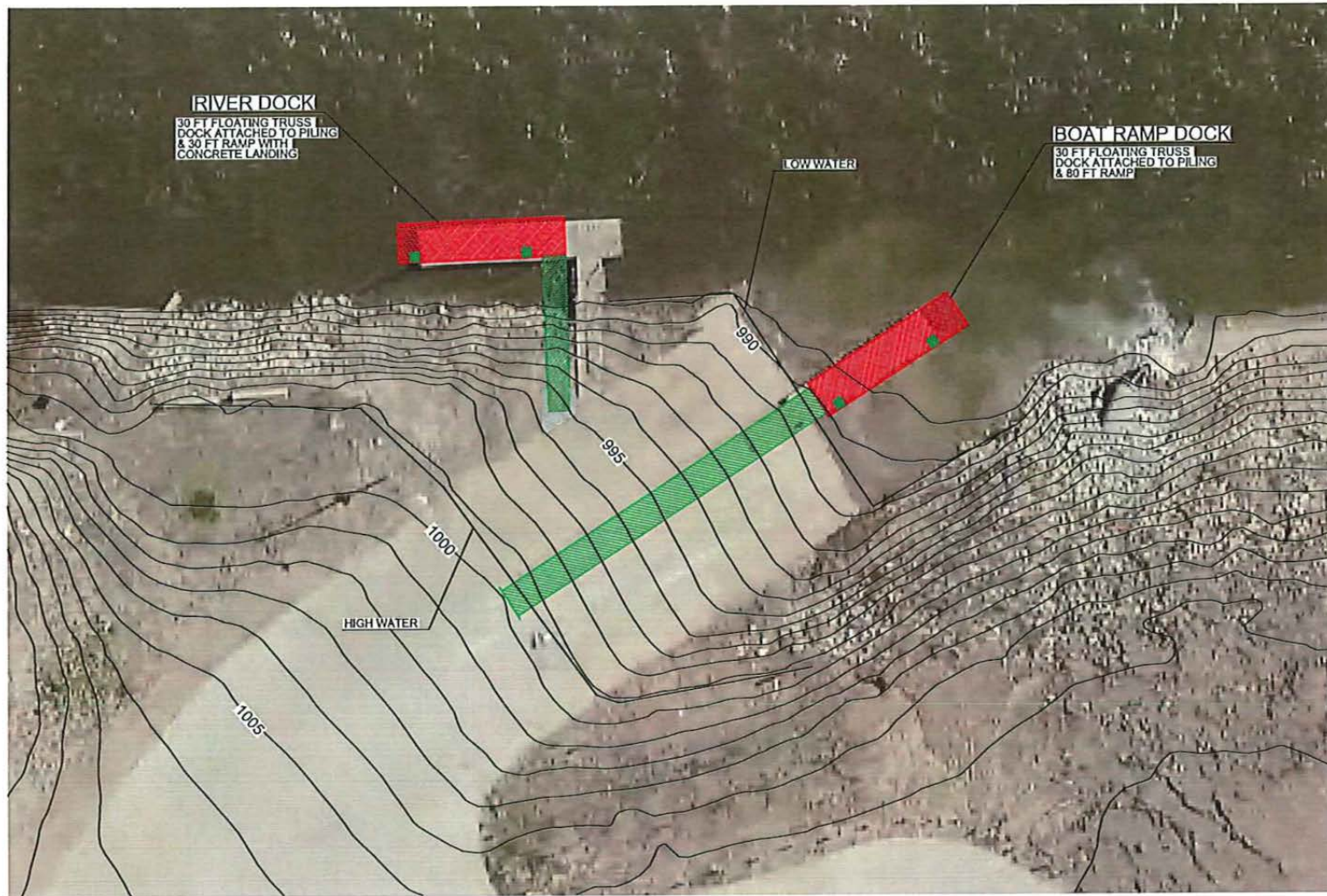


City of Blair
MISSOURI RIVER BOAT RAMP DOCK
HGM Project No. 702920

FLOATING DOCK (WITH WHEELS FOR WINTER PULL OUT)
OPINION OF PROBABLE PROJECT COSTS
December 18, 2020

| ITEM NO. | DESCRIPTION | ESTIMATED QUANTITY | | UNIT COST | | TOTAL COST |
|--------------------|-------------------------------------|-----------------------|----|-----------|-----------|----------------------|
| 1 | Mobilization - Piling | 1 | LS | \$ | 20,000.00 | \$ 20,000.00 |
| 2 | Steel Piling - Ramp Dock (2 Piles) | 100 | LF | \$ | 125.00 | \$ 12,500.00 |
| 3 | Boat Ramp Dock | 1 | LS | \$ | 75,000.00 | \$ 75,000.00 |
| 4 | Steel Piling - River Dock (2 Piles) | 100 | LF | \$ | 125.00 | \$ 12,500.00 |
| 5 | Boat Ramp Dock | 1 | LS | \$ | 50,000.00 | \$ 50,000.00 |
| 6 | Concrete Ramp Landing | 1 | LS | \$ | 5,000.00 | \$ 5,000.00 |
| Subtotal | | | | | | \$ 175,000.00 |
| Contingency (15%) | | | | | | \$ 26,250.00 |
| CONSTRUCTION TOTAL | | | | | | <u>\$ 201,250.00</u> |

FILENAME: v:\projects\702920-blair.mxd Plot Date: 2/13/2019 8:47 AM PLOT SCALE: 1"=20'
 DRAWN BY: Rjm. SAVE DATE: Sep 23, 2019 1:28 PM DATE PLOTTED: 2/13/2019 8:47 AM PLOT SCALE: 1"=20'



DOCK PLAN
 SCALE: 1 INCH = 20 FEET



PRELIMINARY
 NOT FOR
 CONSTRUCTION

ALL RIGHTS RESERVED
 HGM ASSOCIATES, INC.
 ENGINEERING ARCHITECTURE SURVEYING
 1000 N. 10TH AVE. SUITE 100
 OMAHA, NE 68102
 (402) 442-1111
 WWW.HGM-ASSOCIATES.COM

hgm
 ASSOCIATES, INC.
 ENGINEERING ARCHITECTURE SURVEYING
 1000 N. 10TH AVE. SUITE 100
 OMAHA, NE 68102
 (402) 442-1111
 WWW.HGM-ASSOCIATES.COM

| | |
|-------------|--------|
| DESIGNED BY | DATE |
| CHECKED BY | DATE |
| APPROVED BY | DATE |
| PROJECT NO. | 702920 |
| SHEET NO. | 1 |

PROJECT: BLAIR MISSOURI RIVER BOAT RAMP DOCK
 CLIENT: CITY OF BLAIR, NEBRASKA
 SHEET: PRELIMINARY PLAN

PROJECT NO.
 702920
 SHEET
 1

Recreation Area Development Program – Application Form

Project name Gretna Crossing Park - Nature Area & Pollinator Habitat

Project location (attach location map) 21280 Capehart Road

Sponsor organization City of Gretna

Sponsor address 204 North McKenna P.O. Box 69

City Gretna State NE ZIP 68028

Contact person Tammy Tisdall

Title City Clerk

Email address Tammy@cityofgretna.com Daytime phone (402) 332-3336

Description of project (attach additional sheets as needed)

Financial support from the PMRNRD will be used to cost share the development of a 13.30± acre Nature Area & Pollinator Habitat in the northeast corner of Gretna Crossing Park. See attached.

Total estimated cost \$ 586,142 Cost share request \$ 50,000

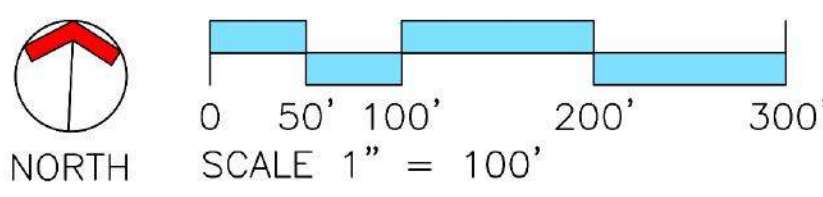
➡ 
Signature

March 16, 2021
Date

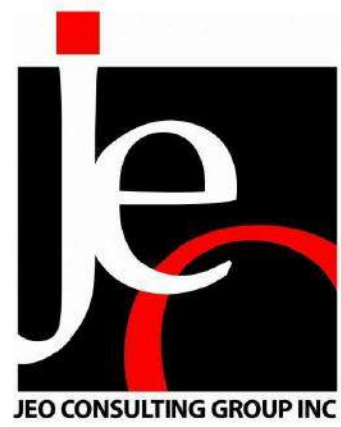
Mayor
Title



GRENA CROSSING PARK - MASTER PLAN
GRENA, NEBRASKA



JANUARY 23, 2020



RECREATION AREA DEVELOPMENT PROGRAM

Project Description

The City of Gretna recognizes that municipal parks are costly to own, develop, and maintain; but the payoff in terms of community pride and marketing can be of almost immeasurable value. Despite their importance, there is a deficit of municipal park space in Gretna. The City has not built a new municipal park in over a decade, even though the population of the City has increased by 14% during this same period. According to the City's Comprehensive Plan, park land in Gretna covers about 39.2-acres, or 7.84-acres per 1,000 residents. Park area standards set by the National Recreation and Parks Association (NRPA) recommends 10-acres of park land per 1,000 residents. By NRPA own standards, Gretna has a need for an additional 11.5 acres of park land per 1,000 residents.

The concept for the Gretna Crossing Park (originally called, Fields At Gretna) finds its origins in the City's 2010 Comprehensive Plan and its companion document, the Gretna Strategic Plan. During this strategic planning process, the Gretna Strategic Planning Committee identified and prioritized various community and economic development needs of the City and then assigned a tentative timeframe to each issue. See Attachment E.

The top priority of Gretna in 2010 was widening of Highway 370 from I-80 to Highway 6/31 to increase economic opportunity and growth, lessen traffic congestion, and to improve traffic safety. This massive project was completed in 2016.

The second priority was water and sewer line extensions along the south and east highway corridors to foster economic development. Those extensions were completed in late 2018.

The third priority of the City was to construct a new Recreational Complex. According to the Strategic Plan, the Complex would need to be massive (130-160 acres) and include amenities that appeal to a wide array of outdoor recreational interests. Two weeks before the Strategic Plan was adopted by the City Council, the City purchased a 157.59± acre parcel of land, for just over \$3 million, for the eventually phased development of a new municipal park.

This Gretna Strategic Plan has been updated annually since 2016. Each year, the construction of the Recreational Complex remains a top priority of the City.

In 2017, the City hired JEO Consulting Group, Inc. (JEO) to prepare a master plan for the new Park. A critical element of this planning process was direct feedback from residents and recreational stakeholders of the community. Adapting this public feedback helped create a long-range vision that ties together ideas and concepts that garnered public support from future park patrons; users that will be asked to pay for it with higher taxes and donation.

On May 12, 2020, Gretna voters approved an additional half-cent sales tax to fund the phased development of Gretna Crossing Park. The sales tax passed by 61.45% to 38.55% margin.



Recreation Area Development Program – Application Form

Project name Lake Cunningham Shelter and Recreation Area Renovation

Project location (attach location map) Lake Cunningham, Entrance #3 (QLI Entrance)

Sponsor organization Lake Cunningham Development Trust

Sponsor address 8305 Rainwood Rd

City Omaha State NE ZIP 68122

Contact person Brook Bench

Title Executive Director - Lake Cunningham Development Trust

Email address bbench@lakecunningham.org Daytime phone 402-720-8589

Description of project (attach additional sheets as needed)

This projects consists of the renovation of the existing large shelter, small shelter, porta potty shelter, and parking lot. (see attached project description for more detail)

Total estimated cost \$ 106,875

Cost share request \$ 50,000

Brook Bench
Signature

02/04/2021
Date

Executive Director - Lake Cunningham C
Title

LawnSmith & Co., Inc.

"Everything but lawns"

3731 State St.
Omaha, NE.68112
(402) 616-7776 cell

Quotation

DATE February 4, 2021
Quotation # 1009
Customer ID Lak8305

Attention:

Quotation valid until: March 1, 2021

Brook Bench
Bbench@lakecunningham.org

Prepared by: Brian S.

*Prices include everything listed on itemized sheets

| | |
|--------------------------|-----------|
| A. Big shelter | \$46,420 |
| B. Small shelter | \$12,400 |
| C. porta potty structure | \$15,500 |
| D. Parking Lot | \$14,655 |
| E. Smaller structure | \$12,400 |
| F. Existing pump house | \$5,500 |
| TOTAL | \$106,875 |

THANK YOU FOR YOUR BUSINESS!



B.

D.

C.

A.



E.

D.

F.

Recreation Area Development Program – Application Form



Project name Brown Park Improvements

Project location (attach location map) 5708 S 15th Street, Omaha, NE 68107

Sponsor organization City of Omaha Parks, Recreation & Public Property Department

Sponsor address 1819 Farnam St., Suite 701

City Omaha State NE ZIP 68183

Contact person Katie Swanson

Title Park Planner II

Email address katie.swanson@cityofomaha.org Daytime phone 402-444-3977

Description of project (attach additional sheets as needed)

See attached.

Total estimated cost \$ 425,800 Cost share request \$ 20,000
\$40,000 eligible

Signature

March 17, 2021

Date

Park Planner II

Title

Brown Park Improvements

Description of Project:

The Omaha Parks, Recreation & Public Property Department has partnered with Spark, the Omaha Community Foundation, and Heartland Workers Center to revitalize the public space at Brown Park (15th and U Streets) in South Omaha. Identified as a priority by community residents, the renovation will include a new playground, improvements to the Pavilion, a new picnic area with a small shelter, accessible walks, additional parking, and signage. See attached drawings and renderings.

Brown Park is a 12-acre city park situated in the heart of South Omaha at 15th and U Streets. The baseball field at Brown Park, known as John Stella Field, is one of the finest in Nebraska, hosting the South Omaha High School and Bellevue University baseball teams. The ball field has received approximately \$1.5 million in privately-funded improvements over the past few years, including a fully-artificial turf field, parking lot improvements, and other site amenities.

Located east of the ball field, the public park is home to the Brown Park Pavilion, a modest building with tables and chairs, a working kitchen and bathroom facilities. The Pavilion serves as an important center for civic engagement as a polling place.

The public park is located at the top of a steep slope, which is composed of relatively undisturbed Loess soils. Careful attention will be paid to prevent the erosion of this slope during and after construction. Large, mature trees will be preserved as much as possible.

Brown Park is located in a predominantly Latino part of the city with more than 80% of residents identifying as Hispanic. Historically, South Omaha has been home to immigrant communities from eastern and southern Europe, Latin America, and the Sudan. Economic indicators from the 2016 American Community Survey show that households living near Brown Park have lower income than the rest of the city: household incomes average \$11,000 lower, unemployment is 4.5% higher, and the percentage of children living in poverty (33%) is almost double that of the city. Demographic data shows that the population is younger in this area; the average age is 26 years compared to 34 years for Omaha. This community is densely populated with recent immigrant families from El Salvador, Mexico, Guatemala, and Honduras. The population of the two census tracts nearest the park shows that more than 7,500 individuals live within walking distance to the park; additionally, it is just blocks away from two Omaha Public Schools – Gomez Elementary School at 17th and P Streets and Marrs Middle School at 19th and U Streets.

City funding will come from Park Bonds designated for Neighborhood Park Renovations in the City's Capital Improvement Program (attached pages pertain to Brown Park). The total estimated cost will be \$425,800. Of this, the project team has fundraised \$285,410 from private donors, with \$100,000 in Parks, Recreation & Public Property CIP funding. We are currently pursuing additional private donors for the remaining funds. Of the total project cost, approximately \$40,000 would be eligible for the Recreation Area Development Program grant, which includes a 20'x20' prefabricated metal picnic shelter, grading, erosion control measures, and seeding. We are requesting a cost share of \$20,000 for this project.

Project timeline: Project will bid in April 2021. Construction will begin in Fall 2021, and is scheduled to be completed by November 2021.



OVERALL PARK PLAN BROWN PARK IMPROVEMENTS - FINAL MASTER PLAN

JANUARY 7, 2020





EAST PARK IMPROVEMENTS BROWN PARK IMPROVEMENTS - FINAL MASTER PLAN

JANUARY 7, 2020



Recreation Area Development Program – Application Form

Project name Flanagan Lake Kayak Launch

Project location (attach location map) See attached

Sponsor organization City of Omaha Parks, Recreation & Public Property

Sponsor address 1819 Farnam Street, Ste. 701

City Omaha State NE ZIP 68183

Contact person John Williams

Title Park Planner II

Email address john.williams@cityofomaha.org Daytime phone 402.444.5943

Description of project (attach additional sheets as needed)

Installation of an accessible kayak launch including a kayak drop-off
area and an accessible walkway to the launch. (see attached)

Total estimated cost \$ 108881 Cost share request \$ 50000



Signature

Park Planner II

Title

3/17/2021

Date

FLANAGAN LAKE ACCESSIBLE KAYAK LAUNCH

This project proposes to install an accessible kayak launch in the vicinity of the existing boat ramp facilities. The kayak launch will enable kayakers of all abilities to launch their craft and enjoy Flanagan Lake.

Flanagan Lake has become a major destination in the Omaha metro area since opening in 2018. The walking trail has been a major draw for visitors but the fishing is taking off and reports of decent crappy, blue gill and walleye are common. Along with anglers getting on the water, kayakers have also discovered this lake and have made it into a destination. A small seasonal business, Neighborhood Offshore, has located here and they offer rental kayaks and paddle boards further strengthening the kayak presence.

The kayak launch will be a floating composite structure that will have the ability to rise up and down with the water level. The launch will be outfitted with two accessible kayak launches. A gangway will connect the floating launch with the walkway on the shore. A drop-off area is also planned where kayakers can pull off the main boat launch drive and unload their kayak. There is an accessible concrete walkway from the drop off down to the kayak launch as well. Adjacent to the accessible launch is planned to be a standard kayak launch. This launch will have gravel added to firm up the footing for those launching.

When the original construction of Flanagan was underway, a kayak launch was envisioned but timing and budget constraints prevented its implementation. This project will fulfill that vision and bring a much needed amenity to the recreation site. The addition of the kayak launch at Flanagan fits with the Parks and Recreation Element of the Omaha Master Plan. The plan states: "Use the areas natural features to develop special facilities. Enhance the basic park system by adding new or unique kinds of park uses."

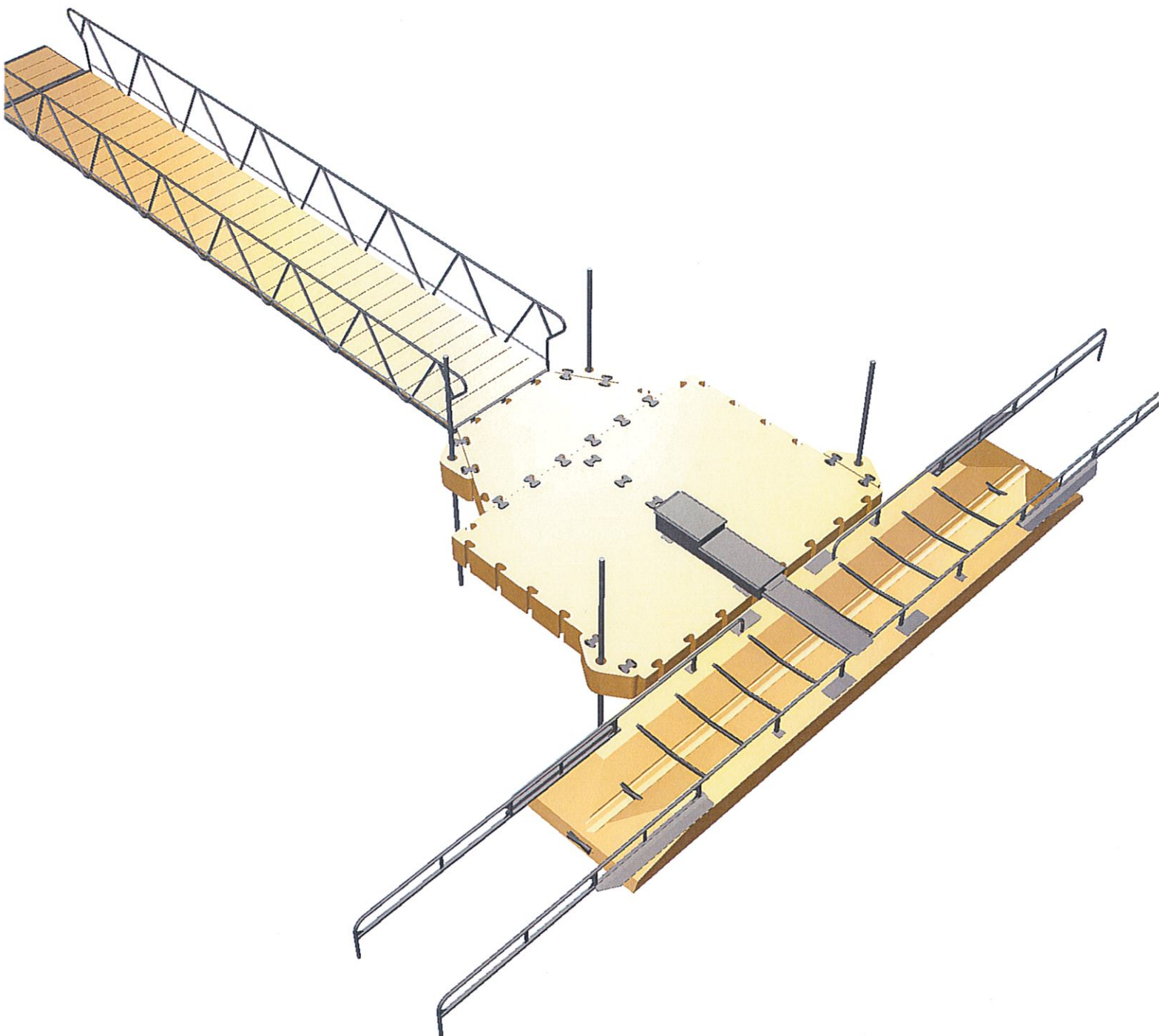
The attached plan and other documentation provide an illustration on the nature of the kayak launch. The request for funding from the Recreation Area Development Program will be used to pay a small engineering fee to design the headwall and calculate earthwork and construction of the kayak launch, sidewalks and pull-off area. The total project cost is \$108,881.00 and our funding request is \$50,000.00.

The schedule for completion of the project is to begin design after funding award and bid the project in the late summer/fall of 2021. We are hoping to have the project constructed in the fall of 2021.



FLANAGAN LAKE KAYAK LAUNCH





Recreation Area Development Program – Application Form

Project name Monarch Place Park Playground Refurbishment

Project location (attach location map) S.E. Corner of Cedardale Road and Beechwood Avenue

Sponsor organization City of Papillion

Sponsor address 122 E. 3rd Street

City Papillion State NE ZIP 68046

Contact person Tony Gowan

Title Parks and Facilities Director

Email address tgowan@papillion.org Daytime phone 402-597-2049

Description of project (attach additional sheets as needed)

see attached description

Total estimated cost \$ 113,000.00

Cost share request \$ 50,000.00

Signature



Parks and Facilities Director

Title

3-11-2021

Date

MONARCH PLACE PARK PLAYGROUND REFURBISHMENT

The City of Papillion is proposing to perform a complete update of a 40-year-old playground area, located in the Monarch Place Park, at the S.E. Corner of Cedardale Road and Beechwood Avenue.

The existing play structure, swing set, and sand will be removed, leaving a concrete edging that will then have a new concrete base and drainage installed. This will then be followed by new play equipment, a new swing set, and a poured in place rubber underlayment base, for a long term, maintenance free, safe playground for the residents of Papillion.

Monarch Place Park is a part of our 2011 Parks Update Plan, and suggestions made by RDG Consultants recommend this update. The park currently also has several other popular amenities such as a pedestrian bridge that allows easy access from the adjoining neighborhood, along with a picnic shelter and a basketball court. The area is ripe with many mature trees and hosted the 2012 Arbor Day Event.



Esri, Inc. City of Naperville, Illinois | Esri, Inc. Sarpy County, Nebraska | Sarpy County, NE



Map Scale 1: 4514

This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes







Recreation Area Development Program – Application Form

Project name Jeffrey Dibble - Soccer Shelter

Project location (attach location map) Scenic Park

Sponsor organization City of South Sioux City

Sponsor address 1615 1st Street

City South Sioux City State NE ZIP 68776

Contact person Gene Maffit

Title Building and Grounds/Parks and Recreation Director

Email address gmaffit@southsiouxcity.org Daytime phone 402-494-7540

Description of project (attach additional sheets as needed)

Construction of a shelter including a camera for the soccer fields. See attached

Total estimated cost \$ 36,403.00

Cost share request \$ 18,201.50


Signature

3-15-2021
Date

Title

Papio-Missouri River – NRD – Soccer Complex

Project Description

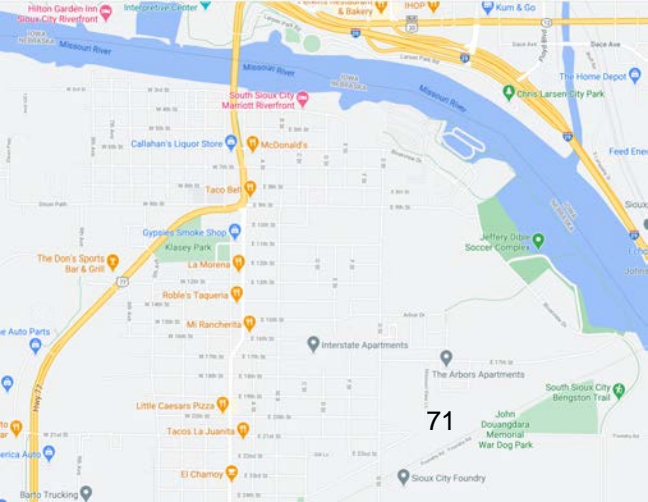
Need: The City of South Sioux City, as part of the comprehensive parks and recreation plan, is projecting to construct a new shelter and add a security camera for the main soccer field at the Jeffrey Dibble Soccer Complex

Purpose: The proposed project will provide a shelter that will protect against the weather elements as the soccer fields are used 3 out of the 4 seasons every year. Currently there is one shelter for 15 soccer fields. A concrete 24' x 40' pad, 8' deep will anchor the 20' x 40' x 8' eave height, 10 surface mount post steel powder coated frame with 24' W roof pans, extruded ridge cap fascia/gutter. Scupper drainage system with standard Americana color frame. A camera installation of a 2MP Bullet camera will provide IR and Analytics with pricing that includes material, installation and cabling. This camera will aid in additional security and safety of the area.

Implementation: Within three months of the grant award the supplies for the project will be purchased. Installation proceedings will begin when materials are acquired. The City of South Sioux City expects to have use of the shelter at the beginning of June 2022.

Project Costs

| | |
|-------------------------------|--------------------|
| 2021 Papio Missouri River NRD | |
| | |
| Camera - Materials & Labor | \$2,241.00 |
| Shelter | \$25,900.00 |
| Concrete Base Platform/Labor | |
| to erect shelter | \$8,262.00 |
| | |
| TOTAL | \$36,403.00 |
| | |
| NRD Share @ 50% | \$18,201.50 |
| | |
| City Share @ 50% | \$18,201.50 |
| | |



71



© 2021 Google

42°28'41.49" N 96°23'42.61" W

Trails Assistance Program – Application Form

Project name Arlington Walking Trail Extension Project

Project location (attach location map) 1st Street from Bell to Ellsworth

Sponsor organization Village of Arlington

Sponsor address 245 N. 2nd Street P.O. Box 370

City Arlington State NE ZIP 68002

Contact person Paul Kaup

Title Committee Chairman

Email address pkaup@egansupply.net Daytime phone 402-219-3888

Description of project (attach additional sheets as needed)

Additional walking trail from existing path around ball complex to
incorporate new pond feature.

Total estimated cost \$ 185,000 Cost share request \$ 92,500

Paul Kaup
Signature

3-19-2021
Date

Committee Chairman
Title

**Arlington Community Trail Project
Project Cost Estimate**

March 19, 2021



Arlington Trail Project

| <u>NO.</u> | <u>ITEM</u> | <u>UNIT</u> | <u>UNIT PRICE</u> | <u>EST. QUANTITY</u> | <u>TOTAL PRICE</u> |
|------------|-------------------------------|-------------|-------------------|----------------------|--------------------|
| 1 | Mobilization & Demobilization | LS | \$10,000.00 | 1.0 | \$10,000 |
| 2 | Clearing & Grubbing | LS | \$5,000.00 | 1.0 | \$5,000 |
| 3 | Strip Vegetation & Topsoil | SY | \$2.00 | 1000.0 | \$2,000 |
| 4 | Excavation | CY | \$2.00 | 2000.0 | \$4,000 |
| 5 | Embankment | CY | \$1.00 | 2000.0 | \$2,000 |
| 6 | 6" Wide x 6" Thick PCC Trail | SY | \$35.00 | 2500.0 | \$87,500 |
| 7 | Signage | LS | \$50.00 | 40.0 | \$2,000 |
| 8 | Seeding | SY | \$1.00 | 8000.0 | \$8,000 |
| 9 | Erosion Control Blanket | SY | \$1.50 | 8000.0 | \$12,000 |
| 10 | Silt Fence | LF | \$2.50 | 3000.0 | \$7,500 |

Subtotal = \$140,000
 15% Contingency = \$21,000
TOTAL = \$161,000

Geotechnical Investigation \$5,500
 Engineering \$14,000
 Construction \$4,500
 Staking
Total \$24,000

Total Project Cost \$185,000

Thank you.

Sincerely,
Civil Solutions, LLC
 Kelly G. Thompson, P.E.





Trails Assistance Program – Application Form

Project name Adams Street Park Trail

Project location (attach location map) Fort Calhoun, NE

Sponsor organization City of Fort Calhoun

Sponsor address 110 S 14th Street

City Fort Calhoun State NE ZIP 68066

Contact person Deb Sutherland

Title Administrator

Email address administrator@fortcalhoun.org Daytime phone 402.468.5303

Description of project (attach additional sheets as needed)

Construct a 10 foot wide trail within Adams Street Park that will
connect the splash pad area with the local sidewalks. Storm sewer
extensions will be required to carry storm water. (see attached)

Total estimated cost \$ 144,200 Cost share request \$ 72,100


Signature

3-15-2021
Date

Mayor
Title

Project Description:

The proposed trail project will complete the trail construction within Adams Street Park and connect the park to area neighborhood sidewalks at the 13th and Adams Street and 12th and Monroe Street Intersections. The trail will be 10 feet wide and constructed with concrete. Curb ramps will be constructed at each end tying into the existing sidewalks. Storm water will be picked up with a new inlet at 13th and Adams Street and a couple along the trail in the park area. The inlets will be connected to the storm water drainage system constructed as part of the splash pad project. Storm water drainage will be maintained in the existing ditch near the intersection of 12th and Monroe.

The city completed a master park plan for this area (attached to this application) and has begun the phased park development with construction of the splash pad. Construction of the splash pad will be completed in spring 2021 and was funded with private donations/grants, a Park Development Grant from the Papio Missouri River NRD and city funds.

Project Schedule:

Notice of Grant Award: June 2021

Project Design: June 22, 2021 to August 16, 2021

Project Bidding: August 17, 2021 to September 30, 2021

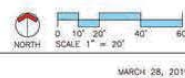
Project Construction: Either Fall 2021 or Spring 2022

Project Closeout/Funding Request: On or before June 3, 2022

The splash pad project currently under construction will be completed on or before May 28, 2021. An updated survey of the area will be completed upon completion of the project for grade coordination.



ADAMS STREET CORRIDOR - PARK MASTER PLAN
FORT CALHOUN, NEBRASKA





Looking east from 13th & Adams



Looking north from 12th & Monroe



Looking south from 12th & Adams



Looking west from 12th & Adams

ENGINEER'S BUDGETARY OPINION OF PROBABLE COST

Adams Street Park Trail

Fort Calhoun, Nebraska

JEO Project No. 131216.00

Date Prepared:

March 10, 2021



ESTIMATE OF QUANTITIES

| Item # | Description | Unit | Quantity | Unit Price | Total |
|------------------------------------|---|------|----------|------------|-----------|
| GROUP A - BUILD TRAIL | | | | | |
| 1. | Mobilization | LS | 1 | \$7,400.00 | \$7,400 |
| 2. | Bonding and Insurance | LS | 1 | \$1,800.00 | \$1,800 |
| 3. | Clearing and Grubbing | LS | 1 | \$2,500.00 | \$2,500 |
| 4. | Earthwork Measured in Embankment (Established Quantity) | CY | 300 | \$18.50 | \$5,550 |
| 5. | Remove CMP Storm Sewer Pipe | LF | 50 | \$25.00 | \$1,250 |
| 6. | Remove Concrete Sidewalk | SF | 120 | \$4.50 | \$540 |
| 7. | Curb Inlet (y=10') | EA | 2 | \$4,500.00 | \$9,000 |
| 8. | Trench Drain | LF | 10 | \$50.00 | \$500 |
| 9. | 24" RCP, Class III | LF | 150 | \$90.00 | \$13,500 |
| 10. | Storm Sewer Tap | EA | 1 | \$850.00 | \$850 |
| 11. | Concrete Collar | EA | 2 | \$700.00 | \$1,400 |
| 12. | 6" Concrete Trail | SF | 5,200 | \$9.00 | \$46,800 |
| 13. | Detectable Warning Panels | SF | 40 | \$40.00 | \$1,600 |
| 14. | Silt Fence, High Porosity | LF | 100 | \$4.25 | \$425 |
| 15. | Seeding, Fertilizer and Mulch | LS | 1 | \$5,000.00 | \$5,000 |
| 16. | Temporary Traffic Control Measures | LS | 1 | \$3,000.00 | \$3,000 |
| Construction Subtotal | | | | Base Bid | \$101,120 |
| Contingency | | | | 10% | \$10,120 |
| Total Opinion of Construction Cost | | | | | \$111,240 |
| PROFESSIONAL SERVICES | | | | | |
| 1. | Design Services (Engineering, Survey, Architecture) | | | | \$27,900 |
| 2. | Overhead (Legal, Fiscal, Etc.) | | | | \$5,060 |
| Subtotal | | | | | \$32,960 |
| Total Opinion of Project Cost | | | | | \$144,200 |
| PROJECT FUNDING | | | | | |
| 1. | Papio Missourui River NRD (Trail Assistnace Grant) | | | 50% | \$72,100 |
| 2. | City of Fort Calhoun | | | 50% | \$72,100 |
| Total Funding for Project | | | | | \$144,200 |

Trails Assistance Program – Application Form



Project name APPLEWOOD CREEK TRAIL
Project location (attach location map) 101ST STREET & BRENTWOOD DRIVE, LA VISTA
Sponsor organization CITY OF LA VISTA, NEBRASKA
Sponsor address 9900 POTAL ROAD
City LA VISTA State NE ZIP 68128
Contact person PAT DOWSE
Title CITY ENGINEER
Email address pdowse@cityoflavista.org Daytime phone 402-331-8927

Description of project (attach additional sheets as needed)

SEE ATTACHED PROJECT DESCRIPTION & FACT SHEET.
CONSTRUCTION IS ANTICIPATED IN THE 2022 SEASON.

Total estimated cost \$ 2,500,000.00 Cost share request \$ 250,000.00

[Signature]
Signature

3/16/2021
Date

CITY ENGINEER
Title



March 18, 2021
Mr. Eric Williams
Natural Resources Planner
Papio-Missouri River Natural Resources District
8091 S. 164th Street
Omaha, NE 68138

Mr. Williams,

Thank you for the opportunity to submit the Applewood Creek Trail project for consideration for Trails Assistance Program. This project is also recognized as TAP-77(61); C.N. 22757 as the project is receiving TAP funding through MAPA, in which the City of La Vista is anticipating a 20% cost share of the total project costs. The project is currently in Preliminary Design, which will be moving towards Final Design upon completion of the NEPA documentation process. As it stands currently, the project is anticipated to be let in late 2021, with construction to begin in early 2022, with completion within one construction season.

There have been some adjustments in design since the Plan in Hand that took place in late 2019, namely the proposed underpass under Giles Road was proposed to be realigned as to reduce the amount of project disturbance downstream of the existing box culvert. Please see the attached fact sheet resending the original alignment and updated aerial representing the revised alignment. As these costs are in process of being tabulated, the current project costs are being estimated at \$2,500,000.00, to which the City is requesting the program match of \$250,000.00, understanding that the cost share rate maximum of this program is 50% of the local share of the project. As the estimates are further refined and the understood local match is calculated, the City will relay these cost figures to the PMRNRD as to adjust the anticipated cost share amount.

Please feel free to let me know if you need additional information regarding this project, or if you have any questions. Thank you for the opportunity to submit for this project.

Sincerely,

Patrick M. Dowse
City Engineer

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
402.331.4343 P
402.331.4375 F

Community Development
8116 Park View Blvd.
402.593.6400 P
402.593.6445 F

Library
9110 Giles Rd.
402.537.3900 P
402.537.3902 F

Police
7701 S. 96th St.
402.331.1582 P
402.331.7210 F

Public Works
9900 Portal Rd.
402.331.8927 P
402.331.1051 F

Recreation
8116 Park View Blvd.
402.331.3455 P
402.331.0299 F

July 2020

Applewood Creek Trail
Trail Construction Project
TAP-77(61); C.N. 22757

LOCATION: The proposed **Applewood Creek Trail** project would involve construction of a new 0.70 mile trail located in the City of La Vista, Sarpy County. The trail would be located in an area defined as the Portal Greenway in the City's Parks and Recreation Master Plan. The proposed trail would connect the two existing trails in the Portal Greenway, which currently end in the Cimarron Woods and Portal Ridge neighborhoods. The trail would begin behind the home near 7602 South 101st Street and end behind the home near 8409 South 103rd Street. Construction may begin and/or end approximately 500 feet ahead of or beyond the actual project limits to accommodate transitioning the pavement.

PURPOSE AND NEED: The purpose of the Applewood Creek Trail project is to improve and expand alternative transportation options and recreation opportunities in the City of La Vista (City), and to improve connectivity or access to other local and regional trails. The need for the new trail project is to complete the existing trail network in the Portal Greenway by providing a connection between the existing trail segments that end in the Cimarron Woods and Portal Ridge neighborhoods. The connection would cross beneath Giles Road, providing a convenient and safe crossing to promote use of this trail.

SCOPE OF WORK: The improvements on this project consist of a new 10-foot wide concrete trail with earth shoulders. A 14-foot wide by approximately 70-foot long pedestrian bridge would be constructed for the trail to cross Applewood Creek. The trail would cross beneath Giles Road in a new 12-foot-wide by approximately 160-foot-long box culvert. Work would also occur at the existing box culvert at Giles Road that conveys Applewood Creek. Pavement removal and replacement would occur for sidewalks, trails, roadway (Giles Road), and curbs and gutters.

PROJECT SCHEDULE: The proposed project is currently in the preliminary design phase. The project is tentatively scheduled for construction in 2022.

RIGHT-OF-WAY: This project would require the acquisition of additional property rights, which could include new right of-way (ROW), control of access (CA), permanent easements (PE), and/or temporary easements (TE). If your property is impacted by this project, you will be contacted by a representative once the design footprint has been established. Access to adjacent properties would be maintained during construction, but may be limited at times due to construction phasing requirements.

POTENTIAL IMPACTS: The trail corridor is anticipated to have minor impacts to wetland resources along the project. The trail is also anticipated to impact publicly owned parks or recreation areas. The back side of this handout describes anticipated impacts to the parks and recreation areas.

ACCOMMODATION OF TRAFFIC: This project would be constructed under traffic with lane closures controlled by appropriate traffic control devices and practices. Phasing requirements for the trail under-crossing beneath Giles Road would temporarily impact access to nearby intersections. Giles Road traffic would be reduced to one-lane in each direction between approximately South 107th Street and South 99th Street/Val Verde Drive. Access to South 101st Street and South 103rd Street from Giles Road would be partially or fully closed during construction of the project. Alternative access is available. Details would be determined during final design.

ESTIMATED COST: The project is estimated to cost \$2.5 million, which includes design, inspection, additional ROW, and construction costs. The project would be funded with 80% Federal Transportation funds and 20% local funds provided by the City of La Vista.



U.S. Department
of Transportation
**Federal Highway
Administration**

For More Information:

**SCHEMMER
DOUG HOLLE**
1044 N. 115th Street
Suite 300
Omaha, NE 68154-4436
402-431-6206
dholle@schemmer.com

For More Information:

**CITY OF LA VISTA
PAT DOWSE**
9900 Portal Road
La Vista, Nebraska 68128
402-331-8927
pdowse@cityoflavista.org



SECTION 4(f) EVALUATION – The Applewood Creek Trail project is funded with Federal transportation funds. Due to the use of these funds, the project must adhere to the National Environmental Policy Act (NEPA) and Section 4(f) of the U.S. Department of Transportation Act. Section 4(f) evaluates impacts to public parks, recreation areas and wildlife or waterfowl refuges, and historic sites during the development of transportation projects. The proposed trail is anticipated to impact portions of Portal Greenway, Sanitary Improvement District (SID) 237 Trail and Sanitary Improvement District (SID) 276 Trail which are considered Section 4(f) resources. Descriptions of anticipated impacts to each Section 4(f) resource are described further below.

Portal Greenway – The Portal Greenway is a planned open space greenway park along Applewood Creek that is publicly owned and open to the public, therefore, it is considered Section 4(f) property. The project would result in a use of Portal Greenway due to the trail construction. The trail would enhance the use of Portal Greenway by providing greater access to the area.

SID 237 Trail – The Applewood Creek Trail would connect to the existing SID 237 Trail and require reconstruction of a portion of the existing trail. The existing SID 237 trail would remain open during construction of the Applewood Creek Trail.

SID 276 Trail – The Applewood Creek Trail would connect to the existing SID 276 Trail and require reconstruction of a portion of the existing trail and its connection to the sidewalk along the south side of Giles Road. The connection to the SID 276 Trail from Giles Road would be closed during construction of the Applewood Creek Trail. Alternate access points to the SID 276 Trail between Giles Road and Portal Road are available and will remain open during construction of the Applewood Creek Trail

A component of NEPA and the Section 4(f) evaluation is to gather public comment on the project and comments on the anticipated impacts to these resources. Therefore, please use the comment sheets provided to comment on the project in general or on anticipated impacts to Section 4(f) resources. Comments can also be relayed to the members of the project team as identified on this information sheet.

Trails Assistance Program – Application Form

Project name Lake Cunningham Trail Connection

Project location (attach location map) Lake Cunningham (see attached map)

Sponsor organization Lake Cunningham Development Trust

Sponsor address 8305 Rainwood Rd

City Omaha State NE ZIP 68122

Contact person Brook Bench

Title Executive Director

Email address bbench@lakecunningham.org Daytime phone 402-720-8589

Description of project (attach additional sheets as needed)

(See attached document) This project consists of the completion of three sections of trail that will exclusively connect the existing trail, allowing for a full 6-mile loop around Lake Cunningham.

Total estimated cost \$ 400,000

Cost share request \$ 200,000

Brook K Bench

Signature

02/04/2021

Date

Executive Director - Lake Cunningham E

Title



Project Cunningham Park Improvements
Location Omaha, NE
Client Lake Cunningham Development Trust
Designer HDR
Category Trail Expansion

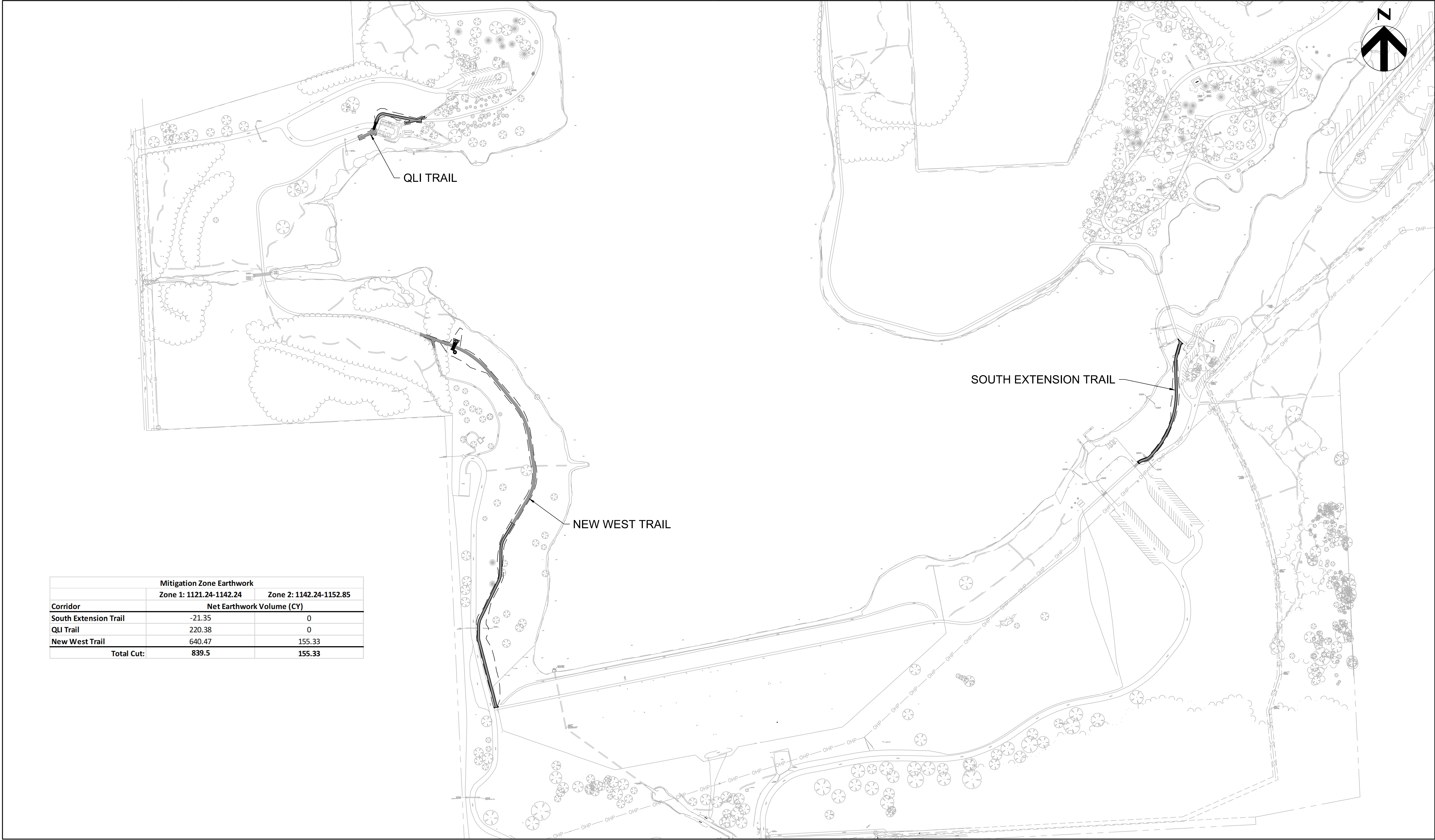
Conceptual Estimate

System Description

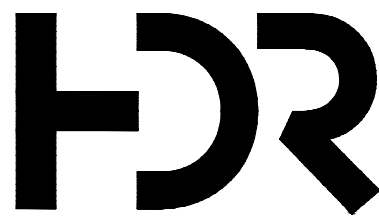
| | |
|----------------|------------|
| SW Trail | \$ 216,914 |
| QLI Trail | \$ 99,038 |
| Spillway Trail | \$ 69,294 |

| | | | |
|-----------------|--|--|-------------------|
| Total \$ | | | \$ 385,246 |
|-----------------|--|--|-------------------|

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| Mitigation Zone Earthwork | | |
|---------------------------|---------------------------|-------------------------|
| | Zone 1: 1121.24-1142.24 | Zone 2: 1142.24-1152.85 |
| Corridor | Net Earthwork Volume (CY) | |
| South Extension Trail | -21.35 | 0 |
| QLI Trail | 220.38 | 0 |
| New West Trail | 640.47 | 155.33 |
| Total Cut: | 839.5 | 155.33 |



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| ISSUE | DATE | DESCRIPTION |

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|---------------------------------------|----------|
| PROJECT MANAGER C. Koenig J. Dineen | |
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| | |
| PROJECT NUMBER | 10110802 |



Lake Cunningham
Phase I
Improvements

EARTHWORK VOLUME
CALCULATION



FILENAME | Earthwork General Notes.dwg
SCALE | 1" = 200'

SHEET
00G-025



City of Omaha
Jean Stothert, Mayor

Office of the Mayor
1819 Farnam Street, Suite 300
Omaha, Nebraska 68183-0300
(402) 444-5000
FAX: (402) 444-6059

Honorable President

and Members of the City Council,

Transmitted herewith is an Operation and Maintenance Agreement between the City of Omaha and the Lake Cunningham Development Trust, as approved by the Army Corps of Engineers. This Agreement supplements the City's Lease Agreement with the Corps for the operation and maintenance of parkland and recreational opportunities at Papillion Creek and Dam #11, commonly referred to as Cunningham Lake. The City Parks, Recreation and Public Property Department has operated and maintained this property since 1972 and a new 25-year Lease was approved in 2018. This Agreement will continue the City's partnership with the Army Corps of Engineers and allow the Lake Cunningham Trust to operate and maintain some of the improvements at the Lake. This public/private partnership will enhance the recreational opportunities for the citizens of Omaha. There is no additional funding necessary for the approval of this Agreement.

Your favorable consideration of this Resolution is respectfully requested.

Respectfully submitted,

Jean Stothert
Mayor, City of Omaha

RESOLUTION NO. _____

City Clerk Office Use Only:

Publication Date (if applicable): _____

Agenda Date: _____

Department: _____

Submitter: _____

CITY OF OMAHA

LEGISLATIVE CHAMBER

Omaha, Nebraska

RESOLVED BY THE CITY COUNCIL OF THE CITY OF OMAHA:

WHEREAS, the City of Omaha has a 25-year lease agreement with the Army Corps of Engineers to operate and maintain Dam site #11, also known as Lake Cunningham; and,

WHEREAS, the Lake Cunningham Development Trust is a private non-profit corporation that desires to partner with the City to further develop the Park and aid in its operation and maintenance; and,

WHEREAS, the City of Omaha desires to enter into an agreement with the Lake Cunningham Development Trust to set forth each party's responsibilities with regard to operation and maintenance of the Park; and,

WHEREAS, this agreement will not increase the costs associated with the current maintenance and operation of the Park; and,

WHEREAS, it is in the best interest of the City of Omaha to approve such agreement; and,

WHEREAS, the Mayor recommends approval of such agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OMAHA:

THAT, as recommended by the Mayor, the Operation and Maintenance Agreement between the City of Omaha and the Lake Cunningham Development Trust is hereby approved.

APPROVED AS TO FORM:

 11/17/20
DEPUTY CITY ATTORNEY DATE

Adopted: _____

Attest: _____
City Clerk

Approved: _____
Mayor

**OPERATION AND MAINTENANCE AGREEMENT
BETWEEN THE CITY OF OMAHA AND LAKE
CUNNINGHAM DEVELOPMENT TRUST**

This Agreement is hereby made and entered into this ____ day of _____, 2020, by and between the CITY OF OMAHA, a municipal corporation organized and existing under the laws of the State of Nebraska located in Douglas County, Nebraska (hereinafter referred to as the "City"), and Lake Cunningham Development Trust, a Nebraska corporation (hereinafter referred to as the "Trust").

WHEREAS, the United States of America, through the Secretary of the Army and the Army Corps of Engineers (hereinafter referred to collectively as the Corps), is the owner of certain property Papillion Creek and Dam No. 11, located in Douglas County, Nebraska, commonly known as Cunningham Lake and Recreation Area (hereinafter referred to as the Premises).; and

WHEREAS, the City has a lease agreement, DACW45-1-18-6031, with the Corps dated October 5, 2018 (hereinafter referred to as the "Lease Agreement"), and is responsible for maintenance and operation for Public Park and Recreational Purposes of the premises; and

WHEREAS, the Trust desires to develop, construct, install and fund certain public improvements (hereinafter referred to as Improvements) on the Premises outlined in letters of approval from the Corps to the City dated March 6, 2019 and April 27, 2020 (hereinafter referred to as Approval Letters), for public park and recreational purposes, and the Corps and City desire to permit the Trust to make such Improvements to the Premises for public park and recreational purposes;

WHEREAS, the Trust, if not constructing the improvements outlined in the Approval letters in whole, will seek approval by the Corps and the City prior to construction; and

WHEREAS, the City and the Trust agree that all the Improvements shall be maintained by the Trust on behalf of the City; and

WHEREAS, it is in the best interest of the citizens of Omaha to permit the Trust to develop, construct, install and fund the Improvements upon the Premises after approval of the Corps and the City.

NOW, THEREFORE, for and in consideration of the mutual covenants and agreements herein contained, the City and the Trust hereby mutually undertake, promise, agree and contract each for itself and its successors and assigns as follows:

I.

Trails Assistance Program – Application Form



Project name Big Papio Trail FEMA Restoration

Project location (attach location map) Big Papio Trail, Harrison Street to West Maple Road

Sponsor organization Omaha Parks, Recreation & Public Property Department

Sponsor address 1819 Farnam St., Suite 701

City Omaha State NE ZIP 68183

Contact person Katie Swanson

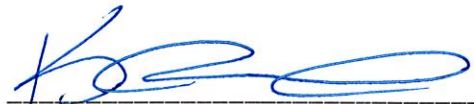
Title Park Planner II

Email address katie.swanson@cityofomaha.org Daytime phone 402-444-3977

Description of project (attach additional sheets as needed)

See attached.

Total estimated cost \$ 524,512 Cost share request \$ 43,588.25


Signature

March 18, 2021
Date

Park Planner II
Title

Big Papio Trail FEMA Restoration

Description of Project:

The Big Papio Trail runs from Seymour Smith Park (Harrison Street) at the south end to Hefflinger Park (West Maple Road) at the north end. The trail was constructed in sections starting in the early 1990s, and some sections have been built utilizing Papio-Missouri River Natural Resources District funding. Multiple sections of the Big Papio Trail were damaged during the March 2019 flood event, primarily where the trail dips beneath bridge overpasses. Damages included scouring of the stream embankments, undermining of the concrete trail, and damage to riprap areas and gabion baskets. The Omaha Parks, Recreation & Public Property Department has been working with FEMA to develop a project to restore these sections of the trail. Our consultant, Vireo, has developed construction documents and an opinion of construction cost to repair these sections. See attached drawings and cost opinion.

As part of this project, we are requesting mitigation funding from FEMA to rebuild the portion of the trail beneath the West Dodge Road overpasses. This portion of the trail was built prior to the West Dodge Road reconstruction project, which raised the height of the overpasses. This project would allow us to take advantage of that additional overhead clearance space. The proposed project would raise the trail approximately 2' higher up the slope of the embankment over a total length of 1,400 linear feet. This section of the Big Papio Trail is frequently inundated, creating hazardous conditions for trail users. Raising this portion of the trail would reduce the frequency of flood events impacting the trail at this location, which in turn reduces the need for silt removal and cleaning activities and reduces the potential for injury by trail users.

Our project team has been in close contact with the Papio-Missouri River NRD during the design process. During a meeting in October 2020, the P-MRNRD requested additional repairs to drainage pipes as part of this project. Unfortunately, FEMA has denied our request to include these drainage improvements in the project. However, these issues still need to be addressed.

The attached Opinion of Construction Costs lists three options for the trail. The 'Alternate' option includes the mitigation project to raise the portion of the Big Papio Trail beneath the West Dodge Road overpasses, and is the option relevant to this grant application. The total estimated cost of the project is \$524,512, including drainage improvements. The Federal (75%) and State (12.5%) shares of the project (including mitigation but excluding drainage) total \$62,476.50. The drainage improvements, which we plan to complete as part of this project but not submit to FEMA for reimbursement, total \$24,700. The total local share comes to \$87,176.50. We are requesting a cost share grant of \$43,588.25 as part of the Trail Assistance Program for FY2022.

Project timeline: We are currently in the process of reviewing the plans with the relevant regulatory agencies and stakeholders, including the Papio-Missouri River NRD, the U.S. Army Corps of Engineers, NDOT, Omaha Public Works, and the C.B. & Q. Railroad. We will be submitting grading permit and floodplain development permit applications over the next few months. Once we have received approvals from local agencies and from FEMA, we will put the project out to bid. We anticipate construction beginning in Fall 2021 and running through Spring 2022.

OPINION OF CONSTRUCTION COSTS - Big Papio/Keystone Trail FEMA Repair

2/12/2021

| | | | | | | COMBINED - ALL SITES | | | | | | Delta (Alt - Base Bid) |
|-----------------------------|--|-------|--------------|-----------------------------|--|----------------------|---------------|------------------|------------------|--------------|--------------|------------------------|
| | | | | | | FEMA QUANTITY | | BASE BID | | ALTERNATE | | |
| ITEM NO. | DESCRIPTON | UNIT | UNIT PRICE | UNIT PRICE (NO CONTINGENCY) | | PLAN QTY | COST | PLAN QTY | COST | PLAN QTY | COST | |
| GENERAL | | | | | | | | | | | | |
| 1 | MOBILIZATION | LS | \$ - | \$ - | 6% OF PROJECT COST | | \$ 22,954.00 | \$ 13,366.40 | | \$ 23,140.24 | \$ 9,773.83 | |
| 2 | MAINTENANCE OF TRAFFIC | LS | \$ 10,000.00 | \$ 10,000.00 | ASSUMED SOME TRAFFIC CONTROL MEASURES NEC. | 0.00 | \$ - | 0.00 | \$ - | 0.00 | \$ - | \$ - |
| 3 | TEMPORARY CONSTRUCTION ENTRANCE | EA | \$ 1,500.00 | \$ 1,500.00 | AT DODGE, 105TH, BLONDO AND 72ND STREET SITES | 5.00 | \$ - | 5.00 | \$ 1,500.00 | 5.00 | \$ 1,500.00 | \$ - |
| 4 | CLEARING AND GRUBBING AND DEMOLITION | LS | \$ 2,000.00 | \$ 2,000.00 | WHERE SIGNIFICANT VEG IS BEING REMOVED | 0.00 | \$ - | 4.00 | \$ 8,000.00 | 2.00 | \$ 4,000.00 | \$ (4,000.00) |
| 5 | CONCRETE DEMOLITION | SY | \$ 8.00 | \$ 8.00 | DEMOLITION OF EXISTING CONCRETE TRAIL AND BASE | 505.66 | \$ 32,736.42 | 495.33 | \$ 3,962.64 | 1596.00 | \$ 12,768.00 | \$ 8,805.36 |
| 6 | CONTRACTOR FURNISHED SURVEYING | LS | \$ 2,500.00 | \$ 2,500.00 | EGA CONFIRM | 0.00 | \$ - | 1.50 | \$ 3,750.00 | 1.00 | \$ 2,500.00 | \$ (1,250.00) |
| 7 | GRAVEL ACCESS ROAD | SY | \$ 30.00 | \$ 30.00 | DODGE SITE ONLY | 1000.00 | \$ - | 1000.00 | \$ 22,170.00 | 1000.00 | \$ 22,170.00 | \$ - |
| EROSION CONTROL / EARTHWORK | | | | | | | | | | | | \$ - |
| 8 | SEDIMENT FENCE | LF | \$ 2.50 | \$ 2.50 | FOR DOWNSLOPE PERIMETER | 0.00 | \$ - | 3464.00 | \$ 8,660.00 | 2022.00 | \$ 5,055.00 | \$ (3,605.00) |
| 9 | STRAW BALE BARRIER | LF | \$ 6.25 | \$ 6.25 | AT PIPE OUTLETS AND SWALE OUTFALLS | 0.00 | \$ - | 433.00 | \$ 2,706.25 | 128.00 | \$ 800.00 | \$ (1,906.25) |
| 10 | STRAW EROSION CONTROL BLANKET | SY | \$ 2.50 | \$ 2.50 | ALL SEEDED AREAS | 1355.00 | \$ 3,387.50 | 3179.44 | \$ 7,948.61 | 2239.33 | \$ 5,598.33 | \$ (2,350.28) |
| 11 | FLEX A MAT EROSTION CONTROL BLANKET | SY | \$ 70.00 | \$ 70.00 | FROM ADS | 0.00 | \$ - | 16.00 | \$ 1,120.00 | 0.00 | \$ - | \$ (1,120.00) |
| 12 | UNCLASSIFIED EXCAVATION | CY | \$ 23.00 | \$ 23.00 | CUT (HAUL AWAY) | 676.00 | \$ 39,292.80 | 1147.00 | \$ 26,381.00 | 1278.00 | \$ 29,394.00 | \$ 3,013.00 |
| 13 | COMPACTED EMBANKMENT | CY | \$ 11.00 | \$ 11.00 | FILL (IMPORT) | 2704.00 | \$ 158,021.76 | 1256.00 | \$ 13,816.00 | 1333.00 | \$ 14,663.00 | \$ 847.00 |
| 14 | TOPSOIL SHOULDER FILL | CY | \$ 30.00 | \$ 30.00 | N/A PLACEHOLDER IF NEEDED | 0.00 | \$ - | 0.00 | \$ - | 0.00 | \$ - | \$ - |
| 15 | RIP RAP FILTER FABRIC | SY | \$ 3.50 | \$ 3.50 | NDOT | 43.05 | \$ 150.68 | 35.00 | \$ 122.50 | 337.00 | \$ 1,179.50 | \$ 1,057.00 |
| 16 | RIP RAP, TYPE B | SY | \$ 80.00 | \$ 80.00 | NDOT | 43.05 | \$ 2,675.56 | 35.00 | \$ 2,800.00 | 337.00 | \$ 26,960.00 | \$ 24,160.00 |
| TRAIL / SIDEWALK / PAVEMENT | | | | | | | | | | | | \$ - |
| 17 | CONCRETE TRAIL (6" REINFORCED) | SY | \$ 55.00 | \$ 55.00 | NDOT/PAST PROJECTS | 484.66 | \$ 34,158.84 | 474.33 | \$ 26,088.15 | 1477.00 | \$ 81,235.00 | \$ 55,146.85 |
| 18 | CONCRETE TRAIL (6" REINFORCED-DAMAGE REPAIR) | SY | \$ 55.00 | \$ 55.00 | NDOT/PAST PROJECTS | 0.00 | \$ - | 0.00 | \$ - | 0.00 | \$ - | \$ - |
| 19 | GRAVEL SHOULDER, CLASS A | CY | \$ 35.00 | \$ 35.00 | NDOT CRUSHED ROCK SURFACE COURSE | 0.00 | \$ - | 30.19 | \$ 1,056.53 | 3.89 | \$ 136.03 | \$ (920.50) |
| 20 | CONCRETE SHOULDER | SY | \$ 45.00 | \$ 45.00 | ADD ALTERNATE ONLY | 21.00 | \$ 1,480.08 | 67.00 | \$ 3,015.00 | 473.00 | \$ 21,285.00 | \$ 18,270.00 |
| 21 | CONCRETE CURB AND GUTTER TYPE CG-1 | LF | \$ 20.00 | \$ 20.00 | ANTICIPATE NEW CURB/GUTTER NEEDED@ DODGE | 0.00 | \$ - | 0.00 | \$ - | 0.00 | \$ - | \$ - |
| 22 | AGGREGATE BASE ROCK (6") | SY | \$ 60.00 | \$ 6.00 | TRAIL + CONCRETE DRAINAGE APRONS | 0.00 | \$ - | 474.33 | \$ 28,459.80 | 1477.00 | \$ 88,620.00 | \$ 60,160.20 |
| 23 | AGGREGATE BASE ROCK (4") | SY | \$ 50.00 | \$ 5.00 | N/A PLACEHOLDER IFNEEDED | 0.00 | \$ - | 67.00 | \$ 3,350.00 | 473.00 | \$ 23,650.00 | \$ 20,300.00 |
| 24 | SOIL STABILIZATION | LF | \$ 20.00 | \$ 20.00 | AREA UNDER BRIDGE(S) | 0.00 | \$ - | 0.00 | \$ - | 700.00 | \$ 14,000.00 | \$ 14,000.00 |
| TRAIL MISCELLANEOUS | | | | | | | | | | | | \$ - |
| 25 | GABION AND ROCK ON SLOPE | SY | \$ 148.50 | \$ 15.00 | | 75.00 | \$ 11,137.50 | 75.00 | \$ 11,137.50 | 0.00 | \$ - | \$ (11,137.50) |
| 26 | EROSION CONTROL SEEDING | ACRES | \$ 2,500.00 | \$ 2,500.00 | | 2.42 | \$ 6,044.88 | 2.38 | \$ 5,949.42 | 2.18 | \$ 5,456.78 | \$ (492.64) |
| 27 | INSTALL GUARDRAIL FENCE & POSTS IN CONC. FTNGS | LF | \$ 120.00 | \$ 120.00 | | 144.00 | \$ 28,588.32 | 144.00 | \$ 17,280.00 | 0.00 | \$ - | \$ (17,280.00) |
| STORM DRAINAGE | | | | | | | | | | | | \$ - |
| 28 | 12" NYLOPALST DRAIN BASIN W/ DOME GRATE | EA | \$ 600.00 | \$ 60.00 | EGA CONFIRM | 0.00 | \$ - | 0.00 | \$ - | 2.00 | \$ 1,200.00 | \$ 1,200.00 |
| 29 | 8" HDPE STORM PIPE | LF | \$ 50.00 | \$ 45.45 | EGA CONFIRM | 0.00 | \$ - | 0.00 | \$ - | 0.00 | \$ - | \$ - |
| 30 | 12" CLASS III RCP | LF | \$ 65.00 | \$ 65.00 | 4 DRAINAGE PIPES | 0.00 | \$ - | 260.00 | \$ 16,900.00 | 260.00 | \$ 16,900.00 | \$ - |
| 31 | 12" RCP END SECTION | EA | \$ 1,000.00 | \$ 1,000.00 | FOR 4 DRAINAGE PIPES | 0.00 | \$ - | 4.00 | \$ 4,000.00 | 4.00 | \$ 4,000.00 | \$ - |
| 32 | 8" BRIDGE DRAIN PIPE EXTENSION | LF | \$ 30.00 | \$ 30.00 | | 30.00 | \$ 900.00 | 40.00 | \$ 1,200.00 | 40.00 | \$ 1,200.00 | \$ - |
| 33 | CONCRETE HEADWALL WITH FLAP GATE | EA | \$ 1,400.00 | \$ 1,363.64 | EGA CONFIRM | 1.00 | \$ 1,400.00 | 1.00 | \$ 1,400.00 | 1.00 | \$ 1,400.00 | \$ - |
| | | | | | | | | | | | | |
| Sub Total | | | | | | \$ 319,974.34 | \$ 222,773.40 | \$ 385,670.64 | | | | |
| Contractor O&P (20%) | | | | | | \$ 63,994.87 | \$ 44,554.68 | \$ 77,134.13 | | | | |
| Contingency (10%) | | | | | | \$ 31,997.43 | \$ 22,277.34 | \$ 38,567.06 | | | | |
| | | | | | | | | | | | | |
| | | | | | | TOTAL | \$ 438,921 | TOTAL \$ 302,972 | TOTAL \$ 524,512 | | | |

NOTES:

Delta of In-Kind and Mitigation

\$ 221,540

Cost Difference (Base Bid - Alter

1. The above Opinion of Probable Costs is for budgeting purposes only and is in no way intended as a guarantee of construction costs.

2. Costs for long-term maintenance of the above materials are not included.

3. Owner's contingency, bonds & insurances, and escalation are not included.

% Difference

\$ 73%

Percent Increase from Base Bid

\$ 85,591

Cost Difference (FEMA Qty - Altr

20%

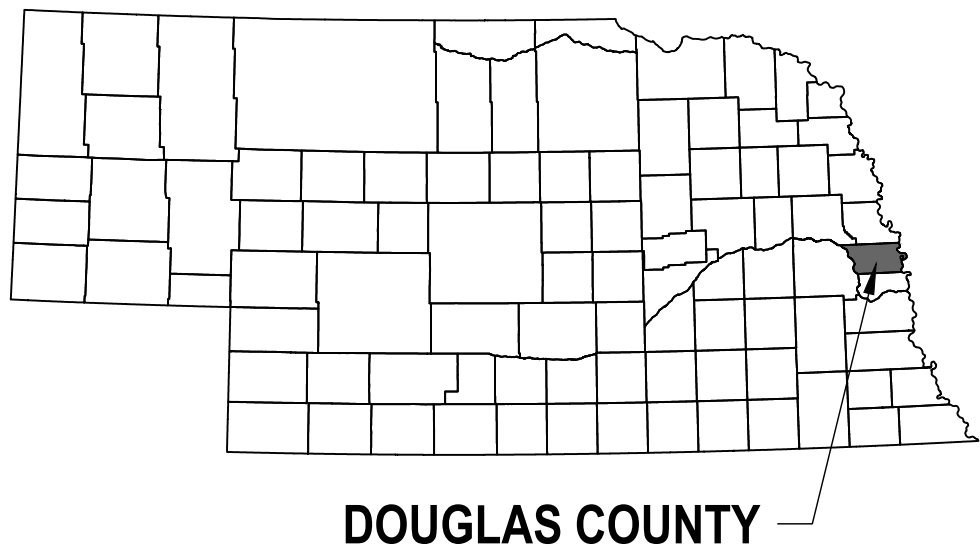
Percent Increase from FEMA Qty

BIG PAPIO TRAIL FEMA RESTORATION OMAHA, NEBRASKA

DESIGNED BY: VIREO LANDSCAPE ARCHITECTURE, PLANNING, & DESIGN
OMAHA, NEBRASKA

FINAL PLANS | FEBRUARY 2021

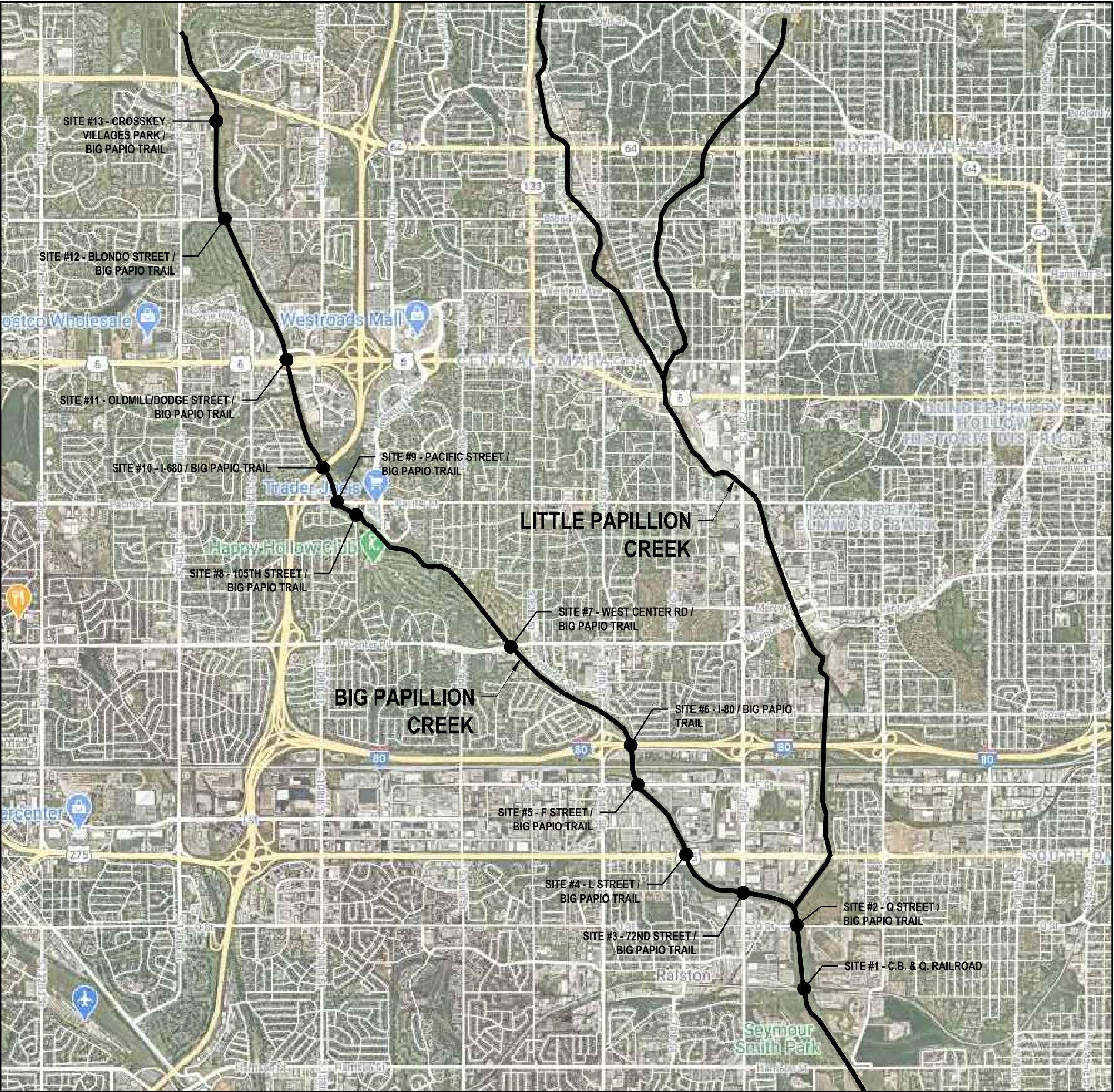
NEBRASKA



DOUGLAS COUNTY

SHEET INDEX

| SHT. NO. | SHEET TITLE |
|----------|---|
| 0.1 | GENERAL NOTES |
| 1.1 | C.B.&Q RAILROAD WEST TRAIL PLAN & SECTIONS |
| 2.1 | Q ST / BIG PAPIO TRAIL PLAN & SECTIONS |
| 3.1 | 72ND ST / BIG PAPIO TRAIL PLAN |
| 4.1 | L ST / BIG PAPIO TRAIL PLAN |
| 5.1 | F ST / BIG PAPIO TRAIL PLAN |
| 6.1 | I-80 / BIG PAPIO TRAIL PLAN & SECTIONS |
| 7.1 | WEST CENTER / BIG PAPIO TRAIL PLAN & SECTIONS |
| 8.1 | 105TH ST / BIG PAPIO TRAIL PLAN |
| 8.2 | 105TH ST / BIG PAPIO TRAIL SECTIONS |
| 9.1 | PACIFIC ST / BIG PAPIO TRAIL PLAN & SECTIONS |
| 10.1 | I-680 / BIG PAPIO TRAIL PLAN & SECTIONS |
| 11.1A | OLDMILL DODGE / BP TRAIL PLAN - BASE BID |
| 11.2A | OLDMILL DODGE / BP TRAIL PLAN - BASE BID |
| 11.1B | OLDMILL DODGE / BP DEMOLITION PLAN - ADD ALTERNATE |
| 11.2B | OLDMILL DODGE / BP DEMOLITION PLAN - ADD ALTERNATE |
| 11.3B | OLDMILL DODGE / BP TRAIL PLAN & PROFILE - ADD ALTERNATE |
| 11.4B | OLDMILL DODGE / BP TRAIL PLAN & PROFILE - ADD ALTERNATE |
| 11.5B | OLDMILL DODGE / BP TRAIL SECTIONS - ADD ALTERNATE |
| 12.1 | BLONDO ST / BIG PAPIO TRAIL PLAN - |
| 13.1 | CROSSKEY / BIG PAPIO PLAN & SECTIONS |



LOCATION MAP

(NOT TO SCALE)



1111 N. 13th Street, Suite 116
Omaha, Nebraska 68102
(402) 553-5485



3552 Farnam Street
Omaha, Nebraska 68131
402 / 551-0631

Trails Assistance Program – Application Form

Project name North Downtown Riverfront Pedestrian Bridge

Project location (attach location map) Riverfront Drive

Sponsor organization City of Omaha

Sponsor address 1819 Farnam Street

City Omaha State NE ZIP 68183

Contact person Derek Miller

Title Long Range and Mobility Planning Manager

Email address derek.miller@cityofomaha.org Daytime phone 402-444-5150 x2068

Description of project (attach additional sheets as needed)

See Attached.

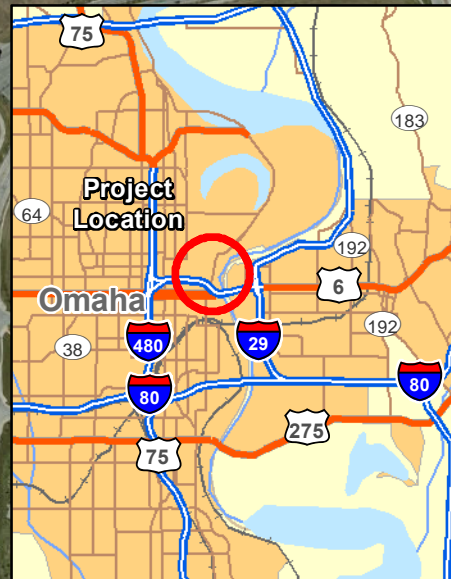
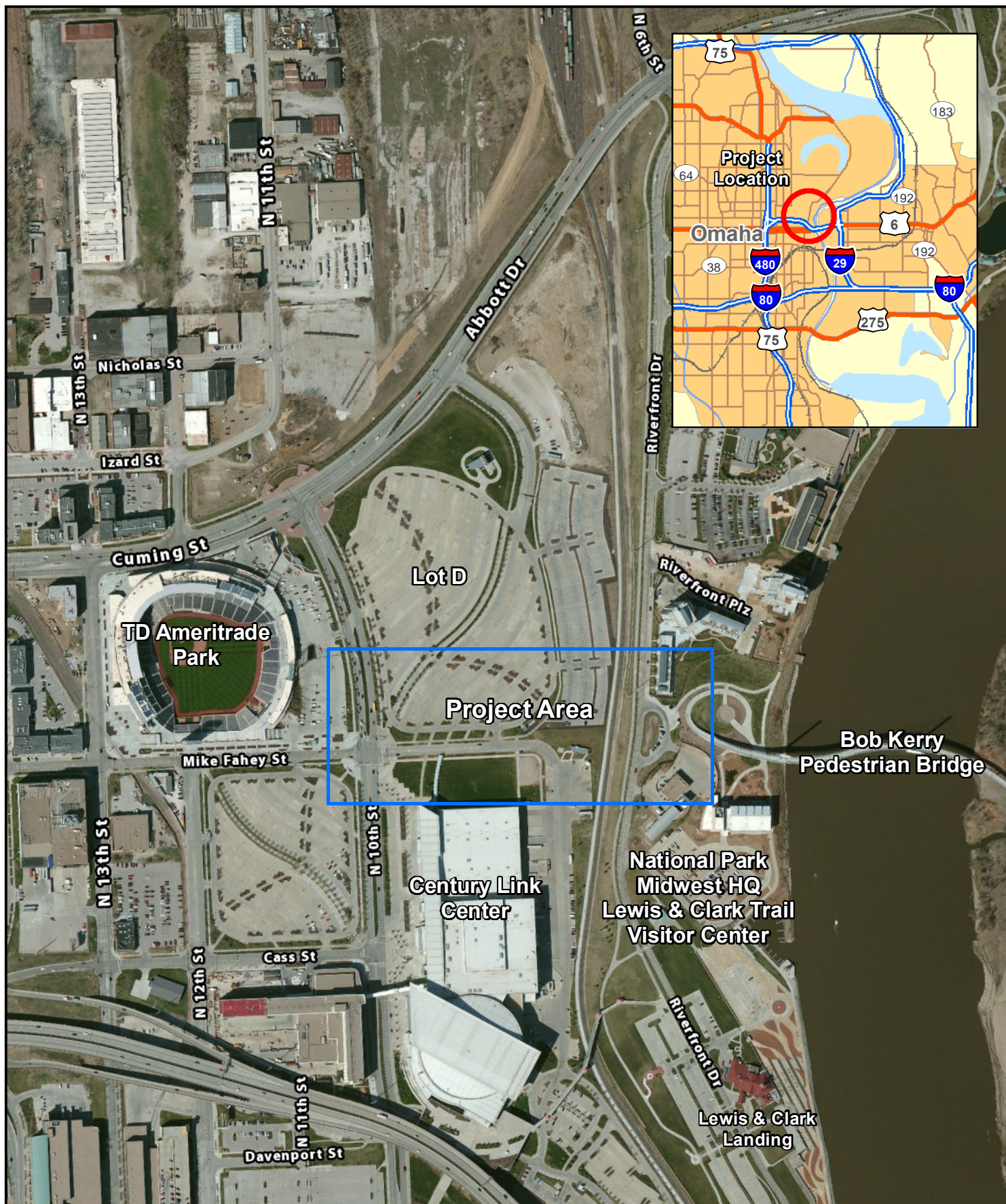
Total estimated cost \$ 7,720,000

Cost share request \$ 750,000.00

Derek Miller
Signature

3/19/2021
Date

Long Range and Mobility Planning Manager
Title



North Downtown Riverfront Pedestrian Connector Bridge

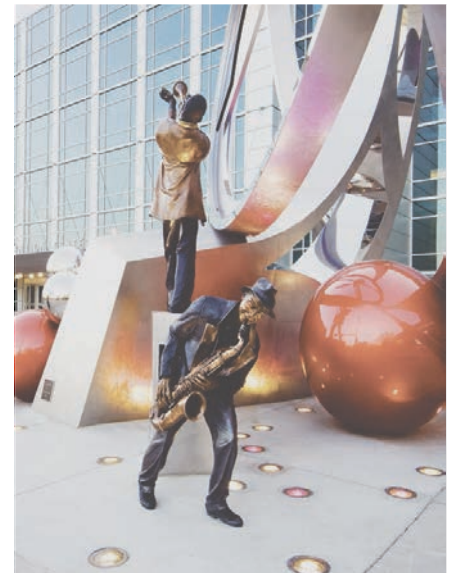
0 200 400 800
Feet

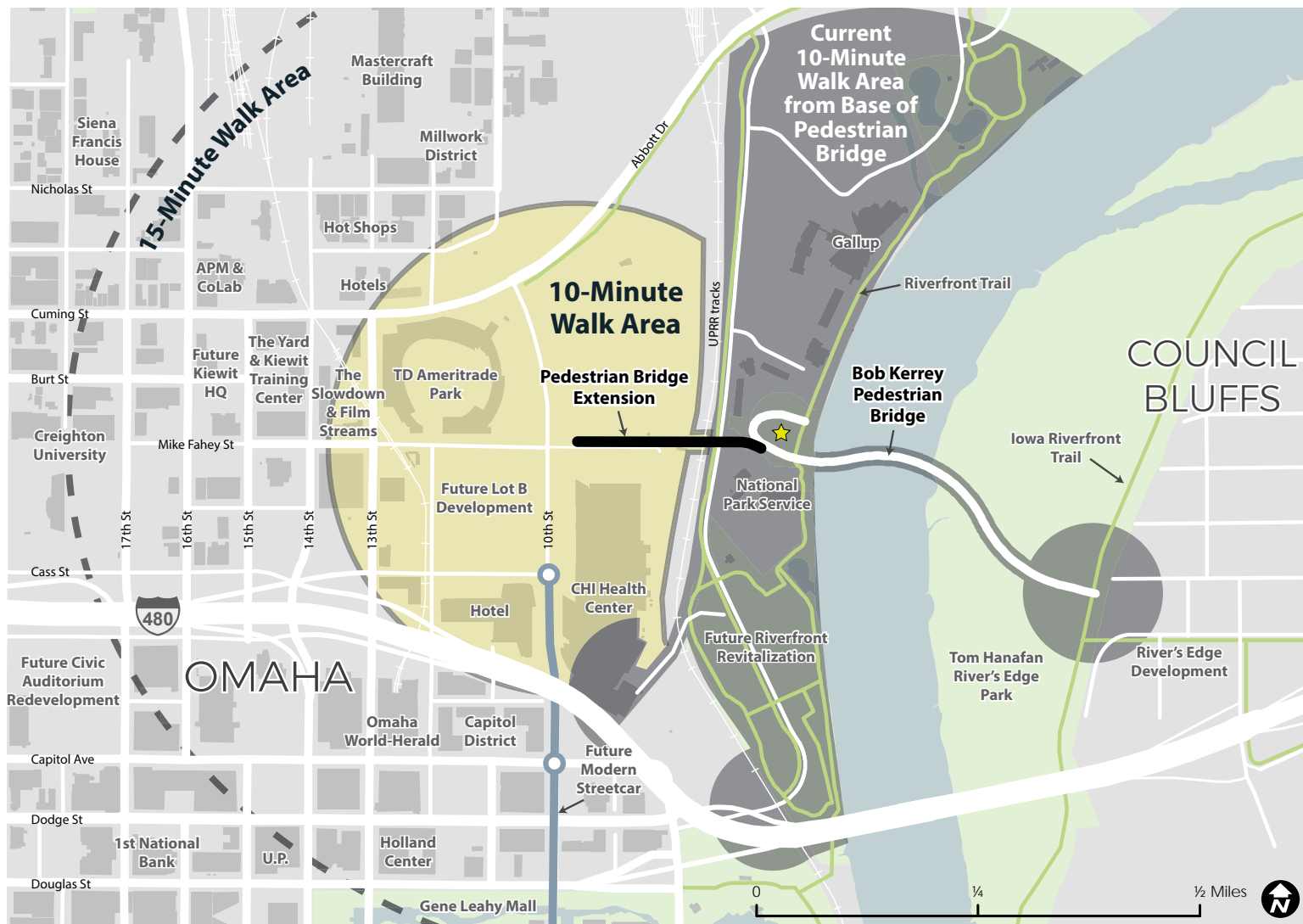
Location Map

January 2014
98

Making
the
Connection

NORTH DOWNTOWN PEDESTRIAN BRIDGE





The Bob Kerrey Pedestrian Bridge, an icon, has helped to spur the transformation of the Riverfront. On average, nearly 2,000 people use the bridge each day* and it connects the 150+ mile trail system of the Omaha and Council Bluffs region. Currently, in order to connect with the commercial opportunities and regional destinations in North Downtown, users of the pedestrian bridge must travel over a mile north or south to circumvent the barrier created by the Union Pacific Railroad Tracks. The new bridge extension would create a safe and direct crossing over the railroad tracks, dramatically improving connectivity to regional destinations on both sides of the river.

With the growing vibrancy of North Downtown Omaha, the River's Edge Development in Council Bluffs, and the pedestrian-rich activities created by Creighton University, the CHI Health Center, and TD Ameritrade Park, the proposed North Downtown Pedestrian Bridge would complete the connection between these destinations while promoting continued development in the region's urban core.



If you have questions, please contact:

Derek Miller, AICP
Transportation Planning Manager
City of Omaha Planning Dept.
1819 Farnam Street, Suite 1110
Omaha, NE 68131

Derek.miller@cityofomaha.org
(402) 444-5150 x2068



The bridge will land at 10th and Mike Fahey Street, right across the street from TD Ameritrade Park and the CHI Health Center.



A thoughtfully designed plaza will welcome people onto the bridge and serve as the gateway between North Downtown and the Riverfront.



The bridge will span over the UPRR tracks, dramatically improving access to the riverfront and strengthening the connection between Omaha and Council Bluffs.

Completed PE / NEPA

2017

Complete Final Design

2018 - 2021

Utility Relocations

2021-2022

Construction

2022-2023

Project Costs and Funding Sources

Design Costs

| Design Component | Source | Amount (\$) |
|---|---------|------------------|
| Preliminary Engineering and Environmental Clearances (Complete) | Federal | 404,636 |
| | City | 191,469 |
| Final Design (Complete) | Federal | 904,000 |
| | City | 226,000 |
| TOTAL DESIGN COST | | 1,726,105 |

TOTAL DESIGN FUNDS TO BE RAISED

0

Construction Costs (from PS&E Submittal)

| Project Components | Base Cost (\$) |
|--|------------------|
| Grading | 216,000 |
| Surfacing | 179,000 |
| Culverts | 32,000 |
| Landscaping | 228,000 |
| Bridge | 2,094,000 |
| MSE Wall (Bridge Ramp) | 1,256,000 |
| Tie-In (Bridge Connection) | 84,000 |
| Guardrail (Fence & Gate) | 83,000 |
| Electrical | 243,000 |
| General | 296,000 |
| Total Estimated Construction Cost | 4,711,000 |
| Construction Contingency (5%) | 235,550 |
| Construction Engineer (CE) | 494,655 |
| Right of Way | 78,250 |
| Utilities | 2,200,000 |
| TOTAL CONSTRUCTION COST | 7,720,000 |

Construction Funding Sources

| Source | Amount (\$) |
|---|------------------|
| Federal | 2,168,000 |
| City of Omaha | 2,852,000 |
| Back to the River, Inc. | 150,000 |
| Downtown Riverfront Trust | 1,800,000 |
| TOTAL CONSTRUCTION FUNDS SECURED | 6,970,000 |

TOTAL CONSTRUCTION FUNDS TO BE RAISED

750,000

Trails Assistance Program – Application Form



Project name Riverfront Trail Phase IV - Millers Landing Park to Kiwanis Park

Project location (attach location map) Along Abbott Dr. from Gallup Dr. to E. Locust St.

Sponsor organization Omaha Parks, Recreation & Public Property Dept.

Sponsor address 1819 Farnam Street - Suite 701

City Omaha State NE ZIP 68183

Contact person Dennis E. Bryers, FASLA, PLA

Title Landscape Architect - Park & Recreation Planner

Email address dennis.bryers@cityofomaha.org Daytime phone 402-444-3798

Description of project (attach additional sheets as needed)

Construction of a 10 foot wide by 1.0 mile long section of concrete,
multi-use, recreational trail along the west side of Abbott Dr., from
Gallup Dr. to E. Locust St. (see attached sheets).

Total estimated cost \$ 750,468

Cost share request \$ 300,187

Dennis E. Bryers
Signature

March 19, 2021
Date

Landscape Arch/Park & Rec Planner
Title

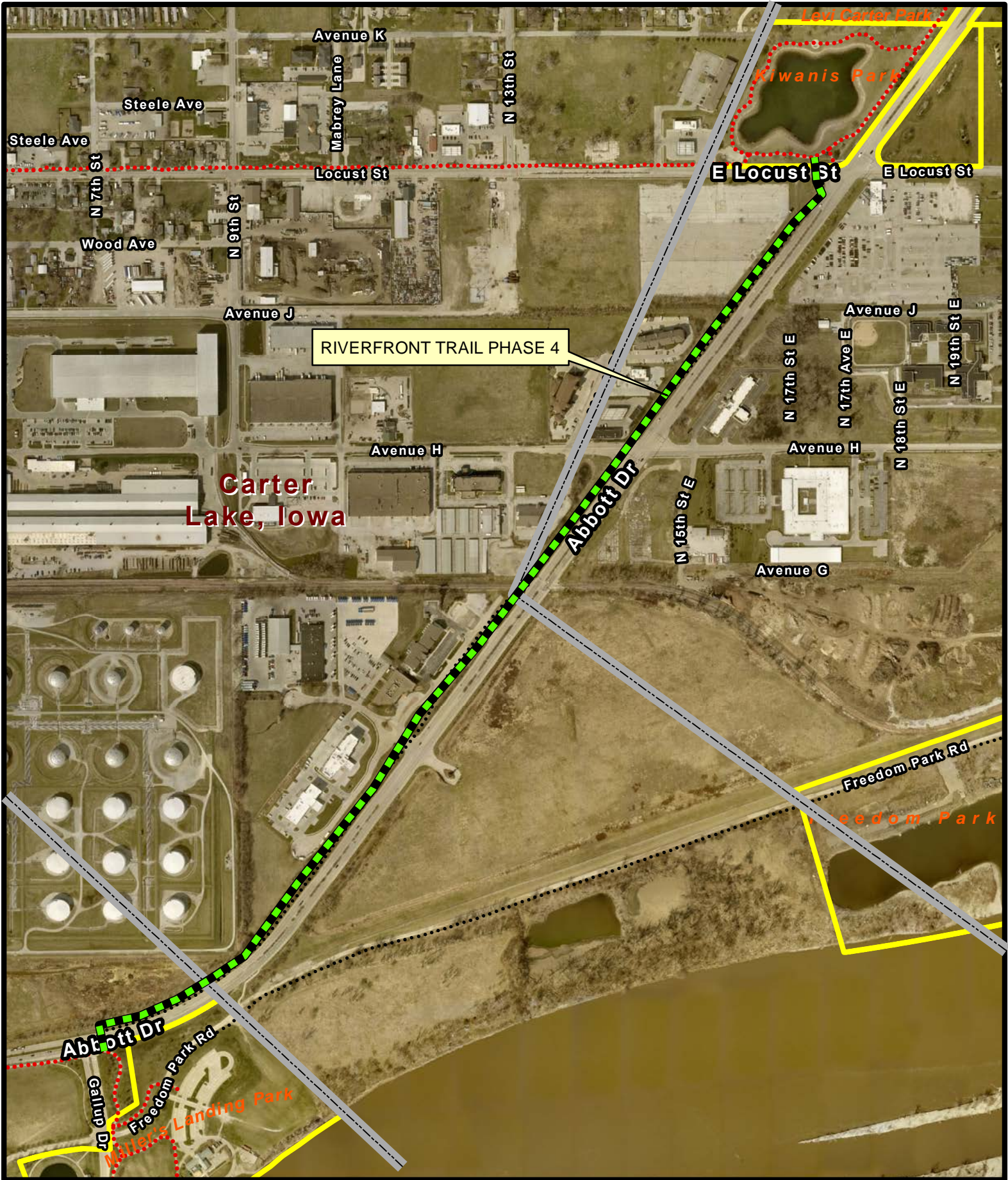
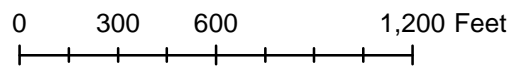


EXHIBIT A

RIVERFRONT TRAIL PHASE 4
MILLERS LANDING PARK TO KIWANIS PARK
OMAHA, NE



MARCH 19, 2021

104



DESCRIPTION OF THE PROJECT:

The trail project would consist of the construction of the final section of the City's Riverfront Trail. This section, known as Riverfront Trail Phase IV, would be approximately one mile long and connect the Riverfront Trail at Millers Landing Park at intersection of Gallup Drive and Abbott Drive to the Riverfront Trail at Kiwanis Park at 1524 East Locust Street. This final connection would allow trail users to travel from Heartland of America Park in downtown Omaha north to the Douglas/Washington County Line and beyond.

The trail would be 10 foot wide, 6 inch thick concrete, multi-use, recreational trail. Construction documents are over 90% complete. The trail would be located on the west side of Abbott Drive. Once constructed, the City of Omaha Parks, Recreation and Public Property Department would manage and maintain the trail as it does with all other paved, multi-use, recreational trails in the City of Omaha.

The Phase IV portion was originally partially funded by the remaining earmarked funds from the Bob Kerrey Pedestrian Bridge. In 2020, a few additional issues were encountered that would delay getting the project out to bid in 2020 as originally planned. After discussions with NDOT it was decided to transfer the remaining earmark funds to the "Baby Bob" pedestrian bridge project. This would allow the City to complete the Phase IV trail project without interference from NDOT of FWA, thereby streamlining the process and allowing the City to put the project out to bid in 2021.

ESTIMATED PROJECT CONSTRUCTION COST

| | |
|--|--------------|
| Estimated Construction Costs (90% Drawings): | \$750,468.00 |
|--|--------------|

ESTIMATED PROJECT FUNDING

| | |
|--|---------------|
| City of Omaha (60%): | \$ 450,281.00 |
| NRD Trails Assistance Program Request (40%): | \$ 300,187.00 |
| Total Funding: | \$750,468.00 |

IMPLEMENTATION SCHEDULE

| | |
|---------------------|--------------|
| Out to Bid: | August 2021 |
| Award Contract: | October 2021 |
| Project Completion: | May 2022 |

Culvert Items - Group 4

| | | | | | |
|---------|--------------------------------------|-----|----|------------|-----------------|
| 0030.40 | Mobilization | 1 | LS | \$850.00 | 850.00 |
| 4015.00 | Adjust manhole to grade | 4 | EA | \$500.00 | 2,000.00 |
| 4210.12 | Trash guard for 12" pipe | 6 | EA | \$100.00 | 600.00 |
| 4210.15 | Trash guard for 15" pipe | 4 | EA | \$150.00 | 600.00 |
| 4210.36 | Bar grate for 36" flared-end section | 2 | EA | \$520.00 | 1,040.00 |
| 4310.12 | 12" flared-end section | 6 | EA | \$250.00 | 1,500.00 |
| 4310.15 | 15" flared-end section | 4 | EA | \$275.00 | 1,100.00 |
| 4310.36 | 36" flared end-section | 2 | EA | \$1,000.00 | 2,000.00 |
| P700.12 | Build culvert - 12" pipe - type 7 | 112 | LF | \$28.00 | 3,136.00 |
| P700.15 | Build culvert - 15" pipe - type 7 | 48 | LF | \$33.00 | 1,584.00 |
| P700.36 | Build culvert - 36" pipe - type 1 | 39 | LF | \$80.00 | 3,120.00 |
| | | | | | <u>\$17,530</u> |

Seeding and Landscape Items - Group 5

| | | | | | |
|---------|--------------|-----|----|------------|----------------|
| 0030.50 | Mobilization | 1 | LS | \$250.00 | 250.00 |
| L003.51 | Seeding | 2.0 | AC | \$1,750.00 | 3,500.00 |
| | | | | | <u>\$3,750</u> |

Fencing Items - Group 7B

| | | | | | |
|---------|---|-----|----|------------|-----------------|
| 0030.60 | Mobilization | 1 | LS | \$2,000.00 | 2,000.00 |
| 6404.00 | Pedestrian rail - chain link type w/ rub rail | 590 | LF | \$65.00 | 38,350.00 |
| | | | | | <u>\$40,350</u> |

Signing Items - Group 7C

| | | | | | |
|---------|-------------------|-----|----|------------|-----------------|
| 0030.70 | Mobilization | 1 | LS | \$1,000.00 | 1,000.00 |
| 7321.00 | Trail sign panels | 9 | SY | \$600.00 | 5,400.00 |
| 7333.00 | Trail sign post | 270 | LF | \$60.00 | 16,200.00 |
| 7390.02 | Relocate sign | 3 | EA | \$150.00 | 450.00 |
| | | | | | <u>\$23,050</u> |

| | | | | | |
|--|--|--|--|--|------------------|
| Subtotal Construction Costs | | | | | \$672,162 |
| Project Contingency - 10% | | | | | \$67,216 |
| Bond Fee - 1.5% | | | | | \$11,091 |
| TOTAL CONSTRUCTION COSTS - ABBOTT DRIVE TRAIL SEGMENT | | | | | <u>\$750,468</u> |

Trails Assistance Program – Application Form



Project name Deer Creek - 2022 Trail Improvements

Project location (attach location map) From Deer Creek South Park to North 132nd Street

Sponsor organization SID 405, Deer Creek

Sponsor address 11440 West Center Road

City Omaha State NE ZIP 68144

Contact person Robert Czerwinski Jr.

Title Municipal Services Dept. Manager

Email address bczerwinski@eacg.com Daytime phone 402.510.1329

Description of project (attach additional sheets as needed)

To extend the Big Papillion Creek Linear Park from Deer Creek South Park to North 132nd Street.

This is part of the NA3 Tranquility Nature Preserve City of Omaha Park System Master Plan.

The estimated project completion will be Summer of 2022.

Total estimated cost \$ 1,064,000 Cost share request \$ 532,000

Robert F. Czerwinski Jr.
Signature

3/19/2021
Date

Municipal Services Dept. Manager
Title

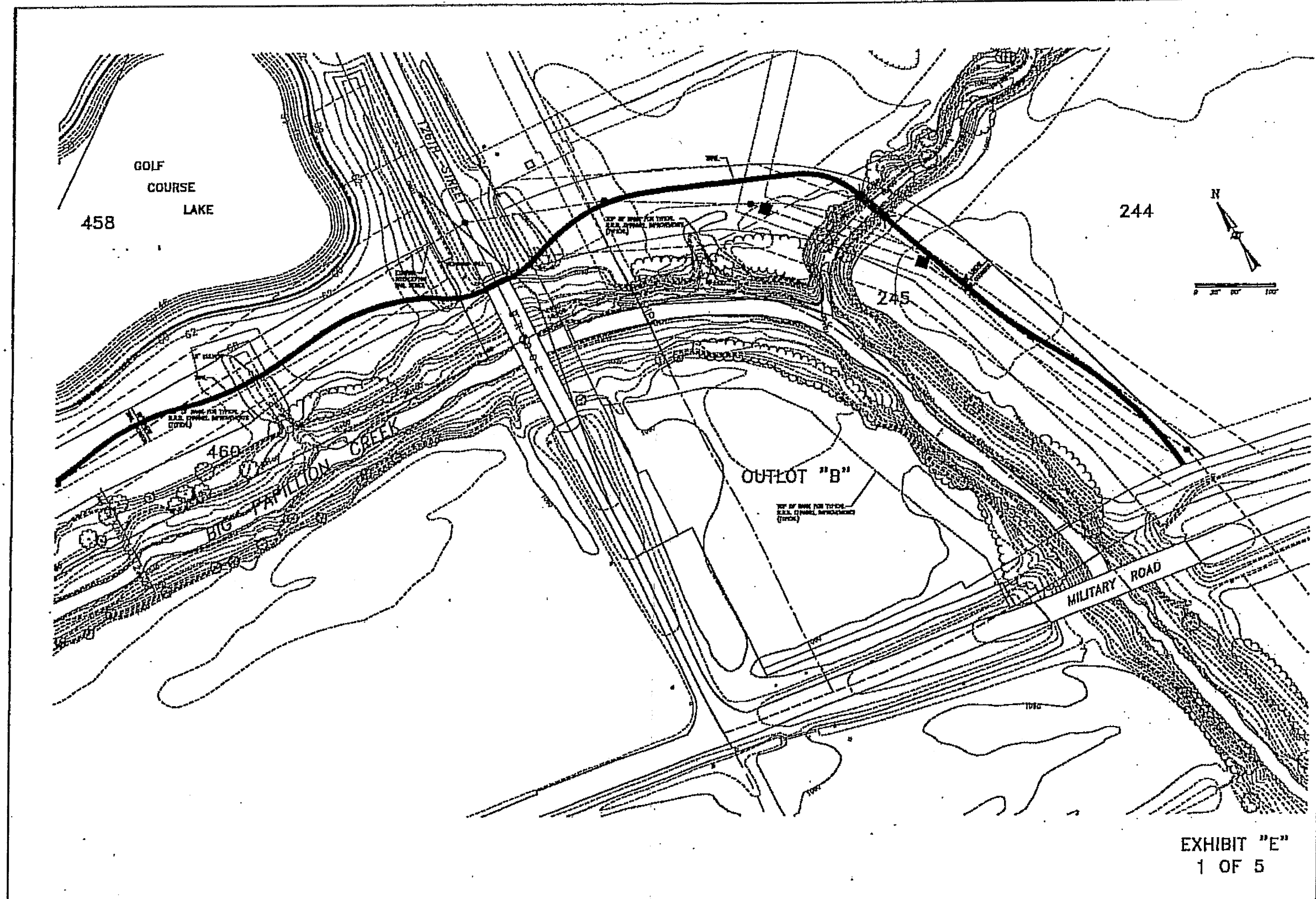
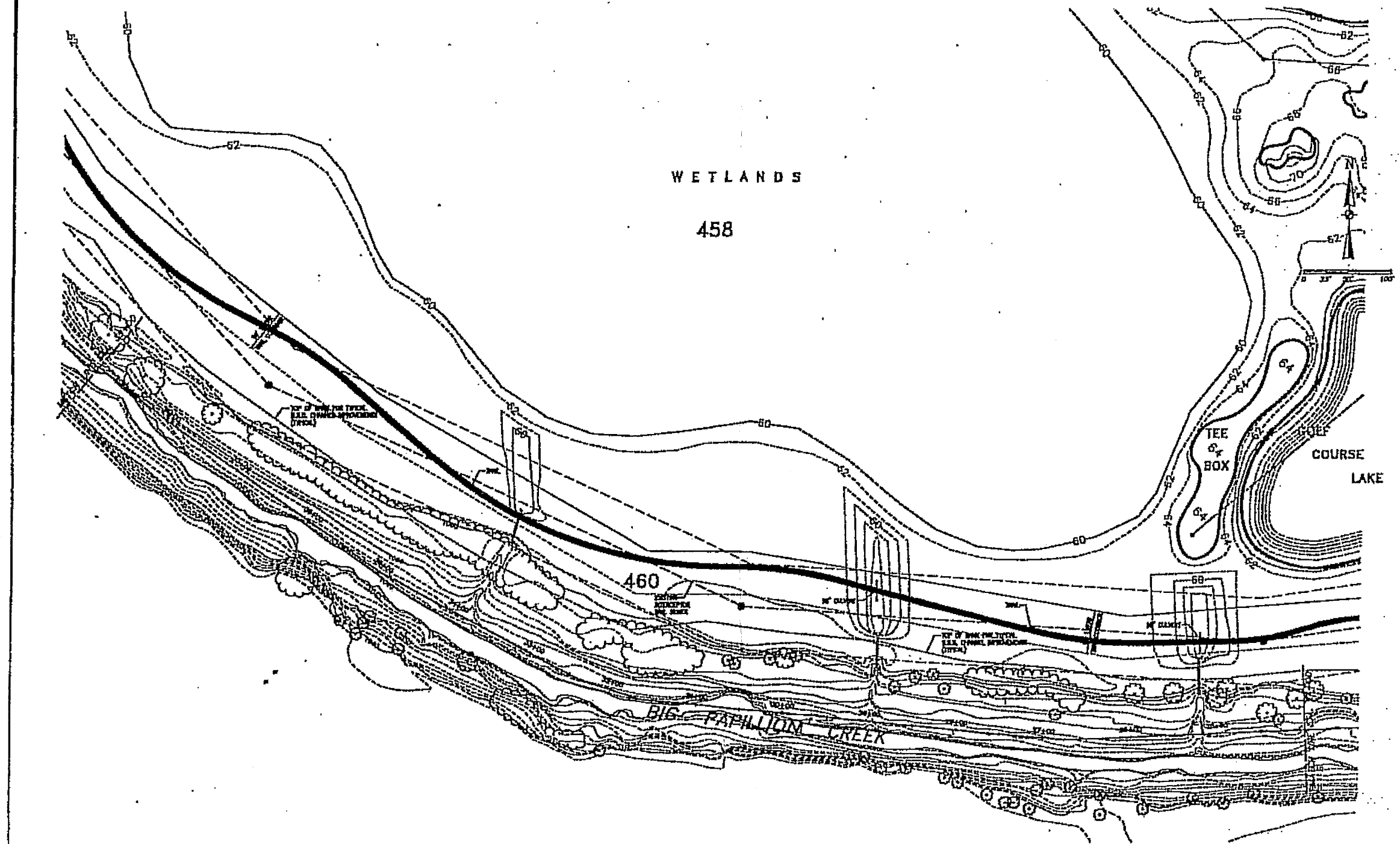


EXHIBIT "E"
1 OF 5

| | | |
|--|------------------------------------|--|
| KIRKHAM MICHAEL CONSULTING ENGINEERS | BIG PAVILLION CREEK LINEAR PARK | PAVING, STORM SEWER AND SANITARY SEWER SECTION II (DEER CREEK) SANITARY AND IMPROVEMENT DISTRICT NO. 408 DOUGLAS COUNTY KANSAS |
| | SHEET 1/14 | TOTAL 14 |

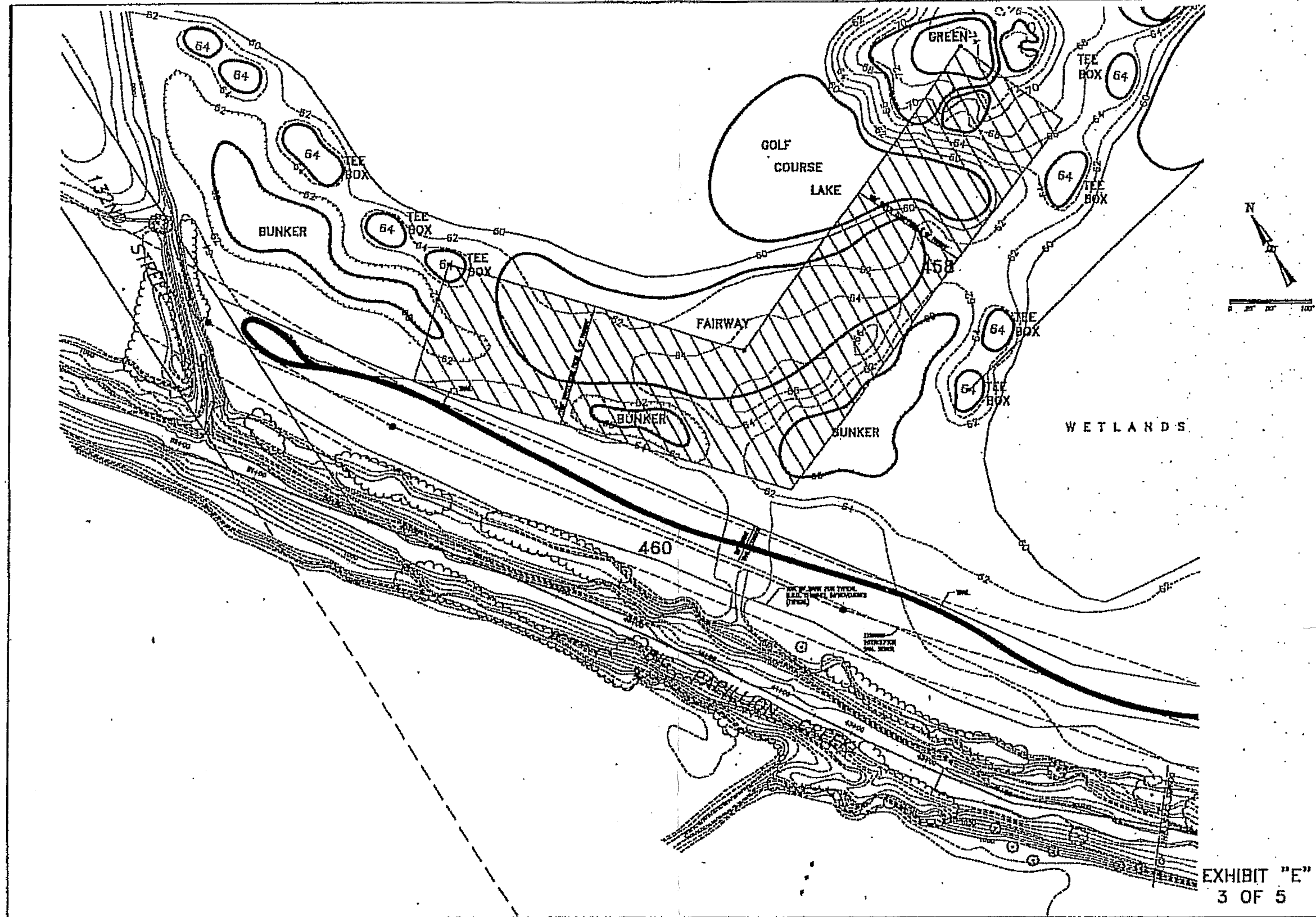


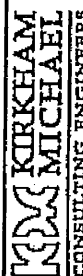
**KIRKHAM
MICHAEL**
CONSULTING ENGINEERS

PAYING, STORM SEWER AND SANITARY SEWER SECTION 11
(DEER CREEK)
SANITARY AND IMPROVEMENT DISTRICT NO. 405
DANIELA COUNTY, NEBRASKA

**BIG PAVILLION CREEK
LINEAR PARK**

2/14



| | |
|---|--|
|  KIRKHAM MICHAEL CONSULTING ENGINEERS | |
| BIG PAPILLION CREEK LINEAR PARK | PAYING, STORM SEWER AND SANITARY SEWER SECTION II (DEER CREEK) SANITARY AND IMPROVEMENT DISTRICT NO. 408 BOULDER COUNTY |
| SHEET 3/19 | PROJECT 15151 |